



**PLANNING AND ZONING COMMISSION MEETING
TRAINING ROOMS A & B
757 North Galloway Avenue
Mesquite, Texas
September 14, 2020 - 7:00 P.M.**

MEETING PARTICIPATION INSTRUCTIONS

In accordance with the Governor's suspension of various provisions of the Texas Open Meetings Act issued pursuant to his state disaster authority, and guidance issued on the suspension by the Attorney General's Office:

1. A quorum of the Planning and Zoning Commission will participate in the meeting by telephone or by being physically present at the meeting location.
2. Members of the public, applicants, and interested parties may attend the meeting in person or participate by telephone conference.
3. All persons present at the meeting location must observe social distancing by remaining a minimum of six (6) feet from other meeting participants and are strongly encouraged to wear a covering over their nose and mouth.
4. Applicants and/or members of the public desiring to participate in the meeting by telephone conference may do so by dialing the following local number on Monday, September 14, 2020, before, at, or after 7:00 p.m. central time.

Telephone Conference Number: 214-396-6338
Participation Code (Meeting Id): 177-6111

Persons may INCREASE their listening volume by pressing *88.

Persons may DECREASE their listening volume by pressing *89.

Repeat as necessary to incrementally increase or decrease the listening volume.

Persons may press *5 to be recognized to speak during the public comment or public hearing portion of the meeting.

5. The meeting will be audible to all in-person and telephone participants and will allow for their two-way communication. Comments may be made during the meeting upon recognition by the Chairperson or may be made in writing before 3:00 p.m. on September 14, 2020, to the following email address: glangford@cityofmesquite.com.
6. An electronic copy of the agenda packet will be posted online at the City of Mesquite's website (www.cityofmesquite.com).
7. A copy of staff presentation will be made available online at <https://www.cityofmesquite.com/1585/Meeting-Packets-Presentations>.

The meeting will be recorded and made available to the public.

AGENDA

Pursuant to Section 551.071 of the *Texas Government Code*, the Planning and Zoning Commission may meet in a closed executive session to consult with the City Attorney regarding matters authorized by Section 551.071, including matters posted on this Agenda.

COMMISSION BUSINESS

1. ROLL CALL.

2. INSTRUCTIONS.

City staff shall give verbal instructions for participation in the meeting.

PUBLIC COMMENTS

3. Any individual desiring to address the Planning and Zoning Commission regarding an item on the CONSENT AGENDA shall do so on a first-come, first-served basis. Comments are limited to three (3) minutes, except for a speaker addressing the Planning and Zoning Commission through a translator will be allowed six (6) minutes.

CONSENT AGENDA

All items on the Consent Agenda are routine items and may be approved with one motion; however, should any member of the Planning and Zoning Commission or any individual wish to discuss any item, said item may be removed from the Consent Agenda by a motion of the Planning and Zoning Commission.

1. MINUTES.

Discuss and consider approval of the minutes for August 24, 2020, Planning and Zoning Commission.

2. PD SITE PLAN APPLICATION NO. SP0120-0140

Consider a PD Site Plan submitted by Pat Atkins, Tack Team Investments, LLC, for Caldwell Farms, a single family subdivision with 28 lots located at 6401 Shannon Rd.

PUBLIC HEARINGS

The City Council may approve a different zoning district than the one requested, except that the different district will not: (1) have a maximum structure height or density that is higher than the one requested; or (2) change the uses to solely nonresidential uses when the request is for solely residential uses or vice versa.

1. ZONING APPLICATION NO. Z0720-0143

Conduct a public hearing and consider Zoning Application No. Z0720-0143 submitted by Masterplan on behalf of Infinity 2020 Partners, LLC., for a Zoning Change from General Retail to General Retail with a Conditional Use Permit to allow a car wash with a modification to allow a car wash within 100 feet of a residential district, located at 1200 Pioneer Road. **Postpone from the August 24, 2020, Planning and Zoning Commission meeting.**

2. ZONING APPLICATION NO. Z0220-0129

Conduct a public hearing and consider Zoning Application No. Z0220-0129 submitted by Huffines Land Holding Partners, L.P. for a Zoning Change from Planned Development Ordinance No. 3538 and Agricultural to Planned Development to allow a master-planned community that would provide development standards and allow mixed-use, residential and commercial uses on a property described as being 1,424 (+/-) acres of land in the J. Anderson Survey, Abstract No. 1,

generally located southwest of East Cartwright Road and both northwest and southeast of Faithon P. Lucas Sr., Boulevard.

3. ZONING APPLICATION NO. Z0420-0139

Conduct a public hearing and consider Zoning Application No. Z0420-0139 submitted by Mazidji Group Engineering on behalf of SAM 77, Inc., for a Zoning Change from General Retail and Agricultural to Planned Development – General Retail to allow a convenience store with limited fuel sales, generally located at at the southeast corner of Pioneer Road and McKenzie Road (400 McKenize Road and 3100 McKenzie Road). **(APPLICATION HAS BEEN WITHDRAWN BY THE APPLICANT.)**

At the conclusion of business, the Chair shall adjourn the meeting.

Pursuant to Section 30.06, Penal Code (trespass by license holder with a concealed handgun), a person licensed under Subchapter H, Chapter 411, Government Code (handgun licensing law), may not enter this property with a concealed handgun.

Conforme a la Sección 30.06 del Código Penal (entrada ilegal de persona titular de licencia con arma de fuego oculta), personas con licencia segun el Sub- capitulo H, Capitulo 411, Código de Gobierno (ley de permiso para portar arma de fuego), no deben entrar a esta propiedad portando un arma de fuego oculta.

Pursuant to Section 30.07, Penal Code (trespass by license holder with an openly carried handgun), a person licensed under Subchapter H, Chapter 411, Government Code (handgun licensing law), may not enter this property with a handgun that is carried openly.

Conforme a la Sección 30.07 del Código Penal (entrada ilegal de persona titular de licencia con arma de fuego a la vista), personas con licencia segun el Sub- capitulo H, Capitulo 411, Código de Gobierno (ley de permiso para portar arma de fuego), no deben entrar a esta propiedad portando una arma de fuego a la vista.

Pursuant to Section 551.007 (c) of the Texas Government Code any member of the public wishing to address the Planning and Zoning Commission through the use of a translator is granted at least twice the amount of time as a member of the public who does not require the assistance of a translator.

Conforme a la Sección 551.007 (c) del Código de Gobierno de Texas, cualquier miembro del público que desea dirigirse a la Comisión través del uso de un traductor se le otorga al menos el doble de tiempo como miembro del público que no requiere la asistencia de un traductor.

CERTIFICATE

I, Garrett Langford, Manager of Planning and Zoning for the City of Mesquite, Texas, hereby certify that the attached Agenda for the Planning and Zoning Commission meeting to be held September 14, 2020, was posted on the bulletin boards at the Municipal Center and City Hall by September 11, 2020, before 5:00 p.m. and remained so posted until after the meeting. This notice was likewise posted on the City's website at www.cityofmesquite.com for a minimum of 72 hours prior to the meeting.



Garrett Langford, AICP
Manager of Planning and Zoning
City of Mesquite, Texas

MINUTES OF THE PLANNING AND ZONING COMMISSION MEETING, HELD AT 7:00 P.M., AUGUST 24, 2020, 757 NORTH GALLOWAY AVENUE, MESQUITE, TEXAS

Present: Chairwoman Yolanda Shepard, Ronald Abraham, Claude McBride, Sherry Williams, Debbie Anderson, Sheila Lynn, Alternate Mildred Arnold

Absent: Alternate Dorothy Patterson

Staff: Director of Planning & Development Services Jeff Armstrong, Manager of Planning & Zoning Garrett Langford, Planner Lesley Frohberg, Planner John Chapman, Senior Assistant City Attorney Karen Strand, Senior Administrative Secretary Devanee Winn

In accordance with the Governor's suspension of various provisions of the Texas Open Meetings Act issued pursuant to his State Disaster Authority and guidance issued on the suspension by the Attorney General's Office, this meeting was held by telephone and video conferencing to support social distancing. Commissioners and City Staff attended the meeting who were present in Training Rooms A & B and practiced social distancing. Ms. Strand, Ms. Williams, and Ms. Arnold were present by telephone conference.

COMMISSION BUSINESS

1. ROLL CALL

Manager of Planning & Zoning Garrett Langford called on each Commissioner for the record. Chairwoman Shepard called the meeting to order and declared a quorum present.

2. INSTRUCTIONS

Mr. Langford gave verbal instructions for participation in the meeting.

3. PUBLIC COMMENTS.

There were no public comments.

CONSENT AGENDA

4. MINUTES.

Discuss and consider approval of the minutes for August 10, 2020, Planning and Zoning Commission.

5. PD SITE PLAN APPLICATION NO. SP0520-0155

Consider a PD Site Plan submitted by Lonnie Huett on behalf of Trinity Life Church, for a new church located at 1535 N. Belt Line Road.

6. PLAT APPLICATION NO. PL0720-0034

Consider a Plat submitted by Barraza Consulting Group on behalf of DR Horton, for Trailwind Phase 1, a 210-lot single-family subdivision generally located between IH-20 and Heartland Parkway.

Ms. Williams made a motion to approve the consent agenda. Ms. Lynn seconded. The motion passed unanimously.

PUBLIC HEARINGS

7. ZONING APPLICATION NO. Z0720-0143

Conduct a public hearing and consider Zoning Application No. Z0720-0143 submitted by Masterplan on behalf of Infinity 2020 Partners, LLC., for a Zoning Change from General Retail to General Retail with a Conditional Use Permit to allow a carwash with a modification to allow a carwash within 100 feet of a residential district, located at 1200 Pioneer Road.

Planner John Chapman asked the Commission to postpone this case to a date certain of September 14, 2020. Mr. Chapman also requested to open the public hearing and to leave open until September 14, 2020. Representing the applicant, Maxwell Fisher, spoke from the Zoom Conference call. Mr. Fisher stated that there are a few recommendations from Staff that they are still addressing. Mr. Fisher asked the Commission to grant the postponement. Chairwoman Shepard opened the public hearing. There were no comments. A motion was made by Ms. Anderson to postpone to a date certain of September 14, 2020, and to leave the public hearing open. Ms. Williams seconded. The motion passed unanimously.

8. ZONING APPLICATION NO. Z0820-0144

Conduct a public hearing and consider Zoning Application No. Z0820-0144 submitted by UTR Homes, LLC., for a Zoning Change from Planned Development – General Retail Ordinance No. 4508 to R-1, Single Family Residential to allow a single family home, located at 1836 Wilkinson Road.

Mr. Chapman briefed the Commission. There were no questions for Staff. Chairwoman Shepard opened the public hearing. There were no comments from anyone present or by phone. Chairwoman closed the public hearing. A motion was made by Ms. Williams to approve. Ms. Lynn seconded. The motion passed unanimously.

9. DIRECTOR'S REPORT.

Director's Report on recent City Council action taken on zoning items at their meeting on August 17, 2020.

Director of Planning & Development Services Jeff Armstrong briefed the Commissioners. The zoning actions are as follows;

1. City Council accepted the CIAC Report.
2. The game machine text amendment was postponed until September 8, 2020, City Council meeting.

[NOTE: Commission action, *if any*, shall not be taken regarding the Director's Report until Public Comments have been received.]

PUBLIC COMMENTS

10. Any individual desiring to address the Planning and Zoning Commission regarding the DIRECTOR'S REPORT or ANY OTHER MATTER not listed on the Agenda shall be allowed to speak for a length of time not to exceed three (3) minutes on a first-come, first-served basis. Citizens addressing the Planning and Zoning Commission through a translator will be allowed six (6) minutes.

No Public Comments.

Chairwoman Shepard called the meeting adjourned at 7:27 P.M.

Chairwoman Yolanda Shepard



PLANNING AND ZONING DIVISION

FILE NUMBER: SP0120-0140
REQUEST FOR: Approval of a Planned Development Site Plan
CASE MANAGER: Johnna Matthews, Principal Planner

PUBLIC HEARINGS

Planning and Zoning Commission: Monday, September 14, 2020

GENERAL INFORMATION

Applicant: Pat Atkins, Tack Team Investments, LLC
Requested Action: Approval of the Planned Development Site Plan for Caldwell Farms
Location: 6401 Shannon Rd.

SITE BACKGROUND

Size: 13.254 +/- acres
Zoning: Planned Development – Single Family Residential, R2-A (Ordinance No. 4703)
Future Land Use: Low Density Residential

	ZONING	LAND USE
NORTH:	AG, Agricultural	Single-family home
SOUTH:	City of Seagoville	Single-family subdivision
EAST:	R-PD - Residential Planned Development	Undeveloped MISD-owned property
WEST:	City of Dallas	Undeveloped

CASE SUMMARY

On August 19, 2019, the City Council approved Caldwell Farms as a single-family Planned Development (PD), with an underlying zoning district of R-2A. Caldwell Farms will span across three cities; Mesquite, Dallas, and Seagoville. The development will include a total of approximately 76.687 acres of land; 28 single family-lots and two open space lots will be located in Mesquite; 90 lots within Seagoville; and 173 lots within Dallas. Lots in Mesquite will range in size from 7,200 square feet to 13,213 square feet. Amenities include over 5 acres of open space, playgrounds, a 6-foot masonry wall, and a landscape buffer along Shannon Road, and a 5-foot trail which will connect to existing trails along Lasater Road in Dallas.

Pursuant to Section 4-202.B (Review Process) of the Mesquite Zoning Ordinance, the Development Review Committee shall review and make recommendations on all PD Site Plans

and shall have final approval authority to approve PD Site Plans of ten acres or less. However, the Planning and Zoning Commission shall review and have final approval authority of all PD Site Plans for projects of more than 10 acres.

CONCLUSIONS

ANALYSIS

The applicant is seeking approval of the PD Site Plan for Caldwell Farms, a proposed single-family development. Staff has reviewed the Site Plan and has determined that the proposed PD Site Plan meets the minimum requirements of the Planned Development, Ordinance No. 4703, approved by the City Council on August 19, 2019, and all other applicable ordinances. Once the Site Plan is approved, the applicant may move to the next step of the development process, which is Platting and Engineering Plans.

RECOMMENDATIONS

Staff recommends approval of the PD Site Plan for Caldwell Farms.

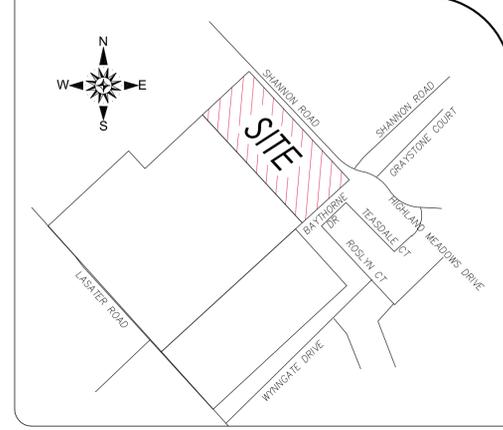
ATTACHMENTS

1. Aerial Map
2. PD Site Plan

ATTACHMENT 1 – AERIAL MAP



ATTACHMENT 2 - SITE PLAN



LOCATION MAP

NOTES:

- Bearings are based on Texas State Plane Coordinates. Projection: State Plane NAD83 Texas North Central Zone 4202, Lambert Conformal Conic, Feet (TX83-NCF).
- According to my interpretation of the Dallas County, Texas and Incorporated Areas, Flood Insurance Rate Map Number 48113C0535K, dated July 7, 2014, the subject property lies within flood Zone "X" and is not shown to be within a Special Flood Hazard Area.
- Final Hydraulic Flood Study to be approved by City of Mesquite prior to Final Plat and Engineering plan approval.

LAND USE DATA

Min. Lot S.F.	7,200
Min. Lot Width	60'@B.L.
Min. Lot Depth	110'
Front Yard Setback	25'
Rear Yard Setback	10'
Interior Side Yard Setback	x
Corner Side Yard Setback	15'
Min. Living Area	2000 s.f.
Max. Building Ht.	35'
Front Entry Two Car Garage	60'x120' Typ. Lot Size

SITE PLAN

Caldwell Farms

Block A, Lots 1-10
Block B, Lots 1-11
Block C, Lots 1-7
4 Common Areas, Lot 1X-4X

Being a 13.254 Acre Tract in the 8838 Block out of S.A. Haught Survey, Abstract No. 567 in the City of Mesquite, Dallas County, Texas

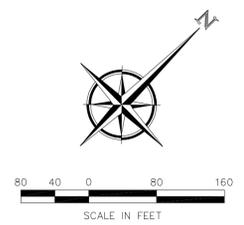
Owner: **CARL PORTER JR. CALDWELL**
3301 SW 134th, PL.
Miami, Florida 33175

Developer/Applicant: **R.C. Myers Surveying, LLC**
3076 Hays Lane
Rockwall, Texas 75087
488 Arroyo Ct.
Sunnyvale, Texas 75182
214.532.0636
Firm No. 10192300

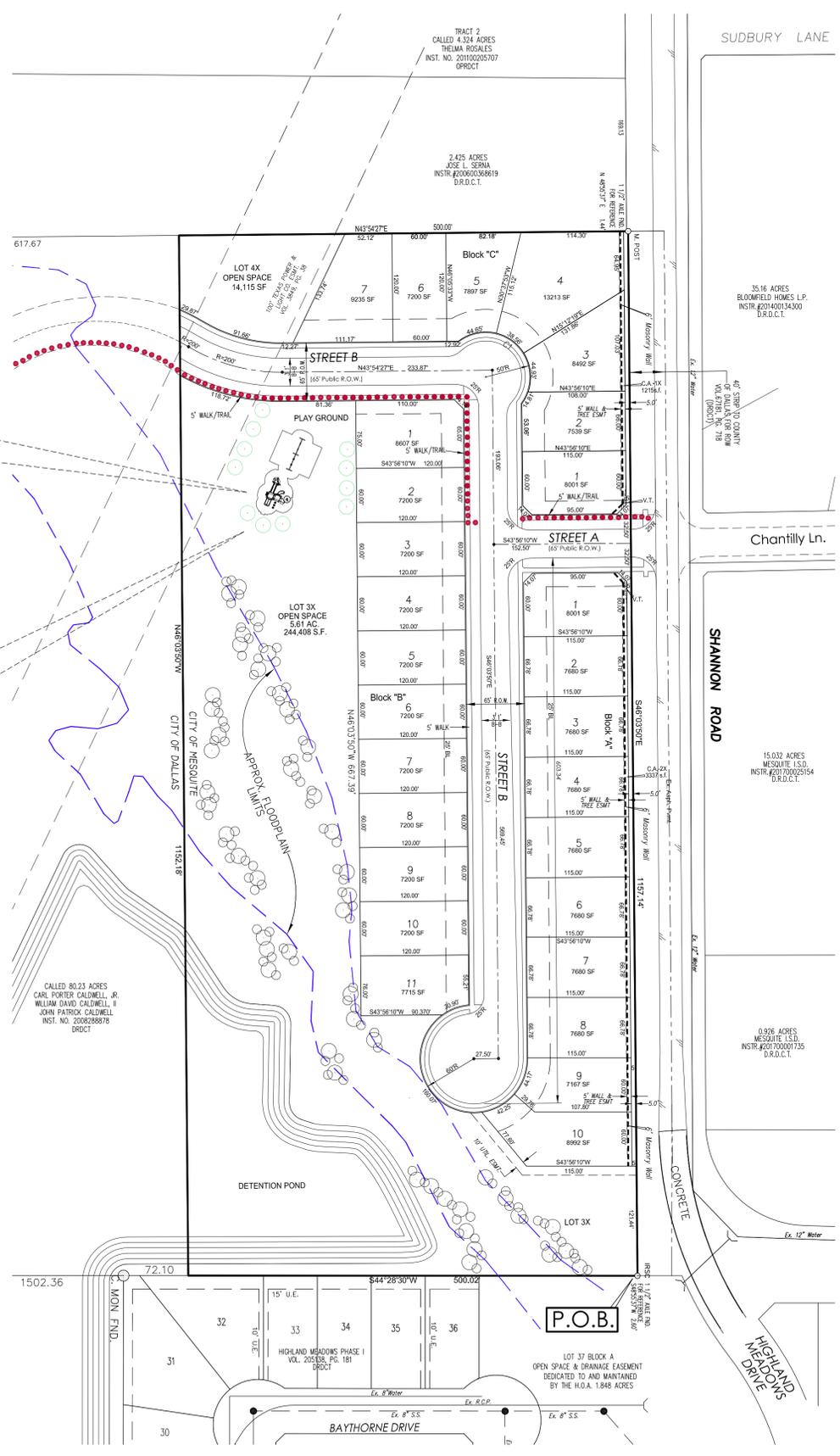
Surveyor: **TTI TACK TEAM INVESTMENTS LLC**
3076 Hays Lane
Rockwall, Texas 75087
488 Arroyo Ct.
Sunnyvale, Texas 75182
214.532.0636
Contact: Pat Atkins

LEGEND

IRS	1/2" IRON ROD SET WITH YELLOW CAP STAMPED "RPLS 3963"
IRF	IRON ROD FOUND
CM	CONTROL MONUMENT
U.E.	UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT
B.L.	BUILDING LINE
V.T.	VISIBILITY TRIANGLE
INST. NO.	INSTRUMENT NUMBER
DOC. NO.	DOCUMENT NUMBER
DRDCT	DEED RECORDS, DALLAS COUNTY, TEXAS
MRDCT	MAP RECORDS, DALLAS COUNTY, TEXAS



- NOTES:
- Any revision to this plan will require City approval and may require revisions to any corresponding plans to avoid conflicts between plans.
 - Dumpsters and trash compactors shall be screened in accordance with the Mesquite Zoning Ordinance and Engineering Design Manual.
 - Outdoor lighting shall comply with the lighting and glare standards contained within the Mesquite Zoning Ordinance.
 - Fire lanes shall be designed and constructed per City standards or as directed by the Fire Marshal.
 - Speed bumps/humps are not permitted within a fire lane.
 - Handicapped parking areas and building accessibility shall conform to the Americans with Disabilities Act (ADA), Texas Accessibility Standards and with the requirements of the current, adopted Building Code.
 - Any/all signage is subject to final approval under separate application/permit by the Building Official or designee.
 - All fences and retaining walls shall be shown on the site plan and are subject to Building Official approval.
 - All exterior building materials are subject to Building Official approval and shall conform to the approved Façade/Building Elevation Plan.
 - All new utility lines shall be installed and/or relocated underground.
 - All mechanical equipment shall be screened from public view in accordance with the Mesquite Zoning Ordinance and Community Appearance Manual.
 - No Lot-to-Lot drainage will be allowed without engineering department approval.
 - H.O.A. to own and maintain common areas and play ground equipment.
 - Pursuant to Ordinance No. 4703 no home shall be of the same front elevation design as any other home within an 8-home/lot distance to each side nor across the street.



PROPERTY DESCRIPTION

BEING a 13.254 acre tract of land situated in the S.A. Haught Survey, Abstract No. 567, City of Mesquite, Dallas County, Texas, and being part of a called 80.23 acre tract of land described in a Deed to Carl Porter Caldwell, Jr., GST Trust, Carl Porter Caldwell, Jr., Trustee, and William David Caldwell, II, recorded as Instrument No. 201600269744, Deed Records, Dallas County, Texas (DRDCT), and being more particularly described as follows:

BEGINNING at a 5/8-inch iron rod with a yellow plastic cap, stamped "RPLS 3963", found in the southwest right-of-way line of Shannon Road as established by Deed recorded in Volume 67181, Page 718 (DRDCT) at the most southern corner thereof, said point also being in a southeast line of said 80.23 acre tract common to a northwest line of Highland Meadows Phase 1, an addition to the City of Seagoville, Dallas County, Texas, recorded in Volume 2005138, Page 181 (DRDCT);

THENCE South 44°28'30" West, along the common line of last mentioned tracts a distance of 500.02 feet, to a point for corner;

THENCE North 46°03'50" West, across said 80.23 acre tract, a distance of 1152.18 feet, to a point for corner in a northwest line of said 80.23 acre tract common to the southeast line of a called 4.376 acre tract of land described in a Deed to Jose L. Serma and Norma Lopez, recorded as Instrument No. 200600368619, Official Public Records of Dallas County, Texas (OPRDCT);

THENCE North 43°54'27" East, along and near a fence line on the southeast line of said 4.376 acre tract common to a northwest line of said 80.23 acre tract, a distance of 500.00 feet, to a point for corner at the most eastern corner of said 4.376 acre tract, said point being in the southwest right-of-way of said Shannon Road, from which 1 1/2" axle found for reference bears North 48°55'37" East a distance of 1.44 feet;

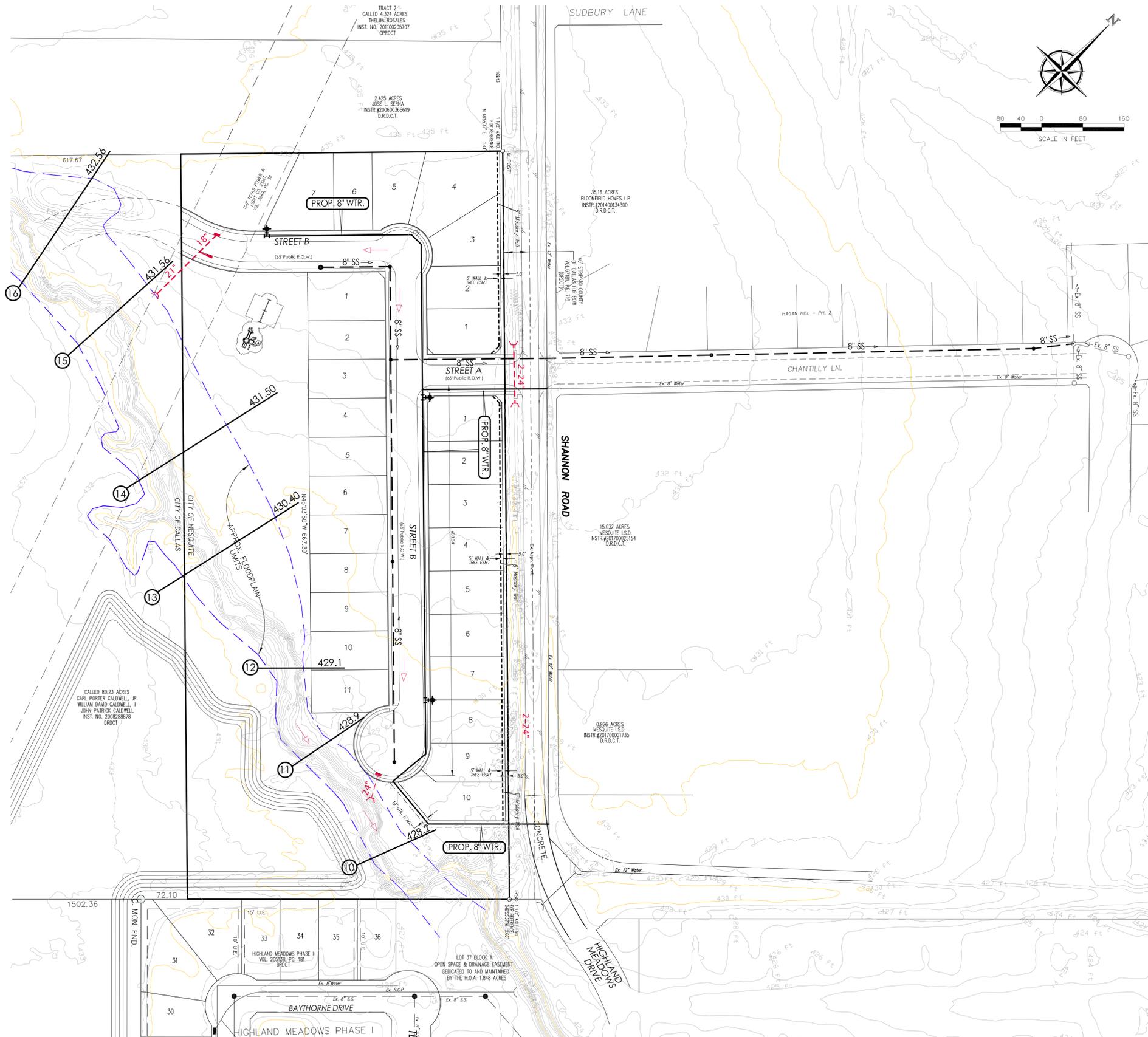
THENCE South 46°03'50" East, along the southwest right-of-way line of said Shannon Road, a distance of 1157.14 feet, to the POINT OF BEGINNING and containing 557,330 square feet, or 13.254 acres.

NOTE: City limit boundary line was established from City of Mesquite Ordinance No. 2003 passed on the 12th of March, 1984. No City of Dallas Ordinance was found to confirm this location.

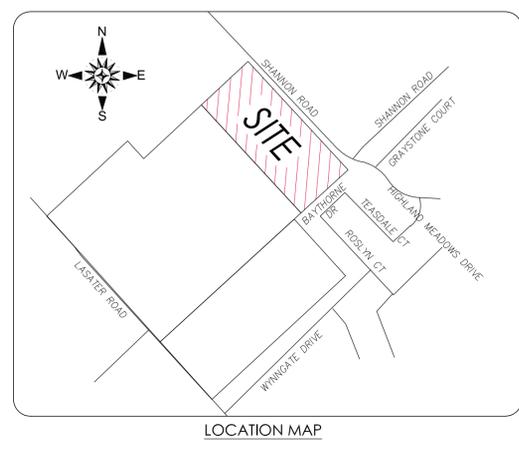
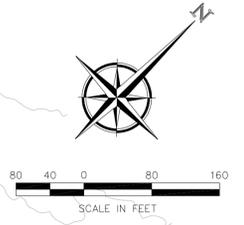
Refer to preliminary paving and grading sheet for Auto-Turn Truck 1-R detail for this project.

CURVE TABLE

CURVE #	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	163°46'07"	50.00	142.91'	S88°55'18"W	99.00'



LEGEND	
IRS	1/2" IRON ROD SET WITH YELLOW CAP STAMPED "RPLS 3963"
IRF	IRON ROD FOUND
CM	CONTROL MONUMENT
U.E.	UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT
B.L.	BUILDING LINE
INST. NO.	INSTRUMENT NUMBER
DOC. NO.	DOCUMENT NUMBER
DRDCT	DEED RECORDS, DALLAS COUNTY, TEXAS
MRDCT	MAP RECORDS, DALLAS COUNTY, TEXAS



Legend	
	Prop. Water
	Prop. San. Sewer
	Prop. F.H.
	Prop. S.S. M.H.
	Prop. Storm Sewer
	Direction of Flow

Final Hydraulic Flood Study to be approved by City of Mesquite prior to Final Plat and Engineering plan approval.

Preliminary Utility Plan SITE PLAN

Caldwell Farms

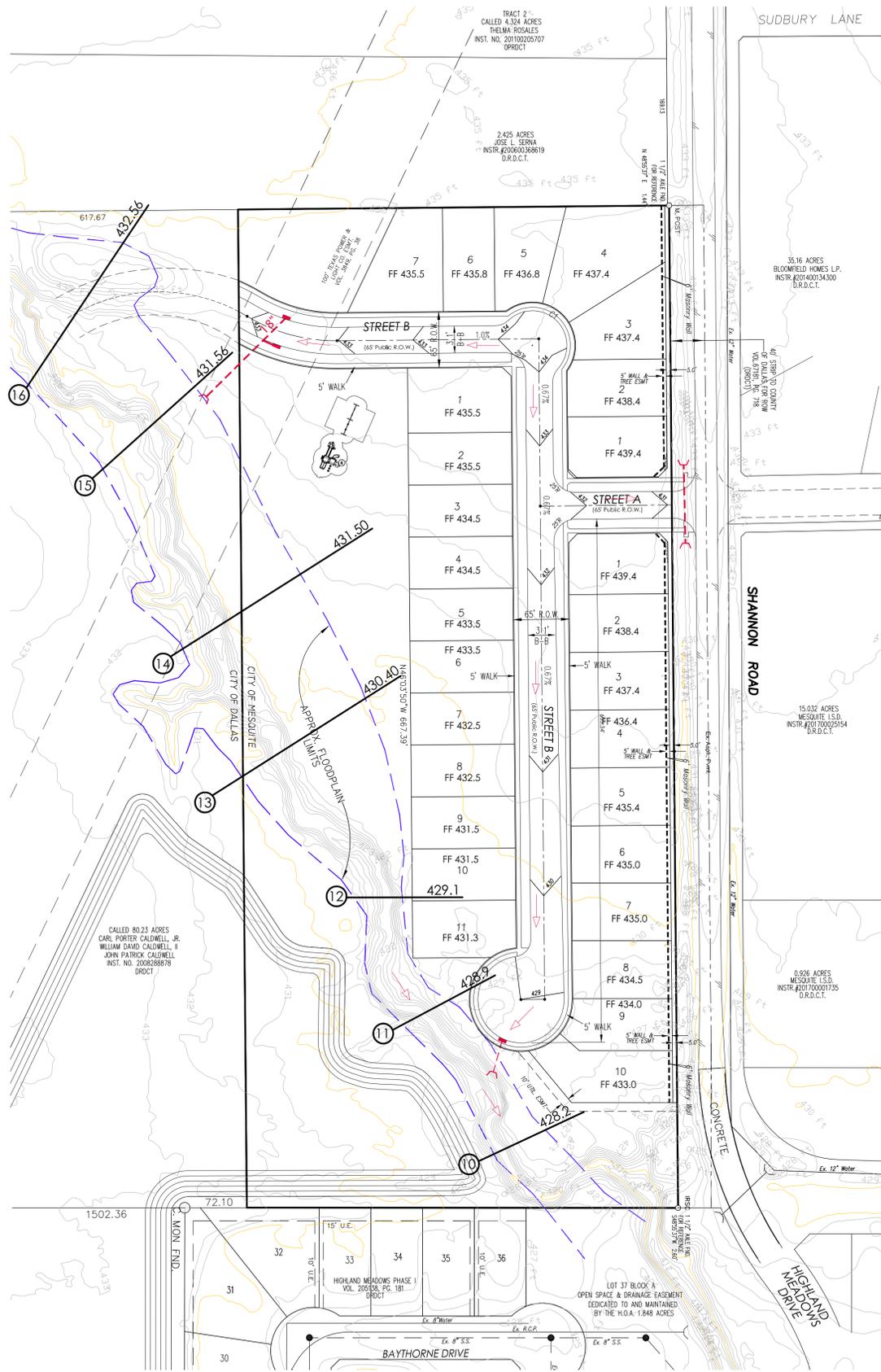
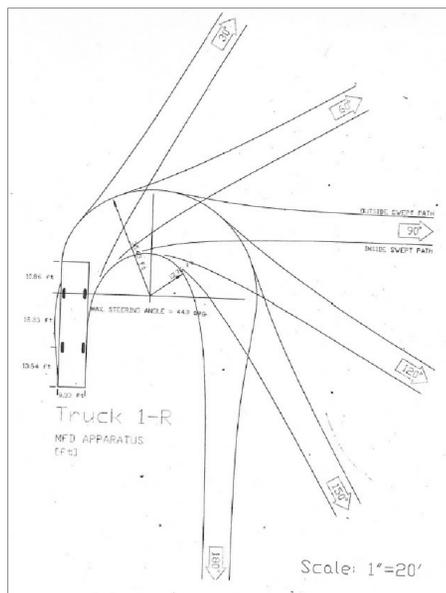
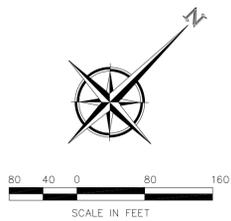
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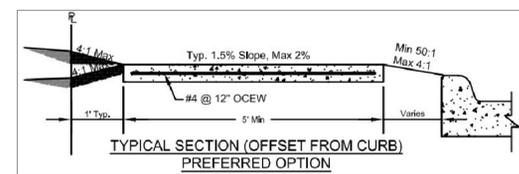
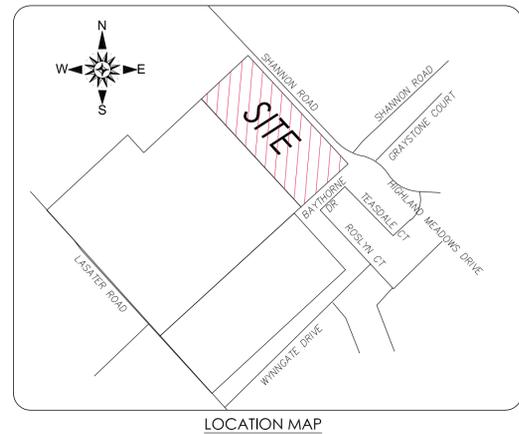
Owner:
CARL PORTER JR. CALDWELL
3301 SW 134th, Pl.
Miami, Florida 33175

Surveyor:
R.C. Myers Surveying, LLC
488 Arroyo Ct.
Sunnyvale, Texas 75182
214.532.0636
Firm No. 10192300

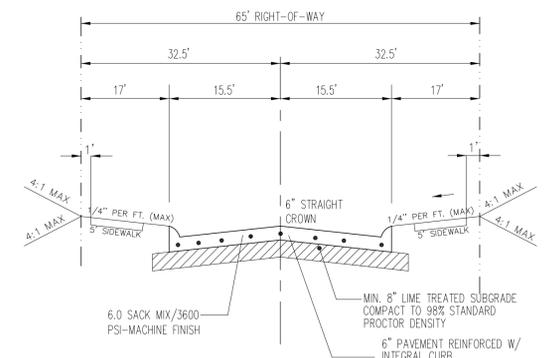
Developer/Applicant:
TTI TACK TEAM INVESTMENTS LLC
3076 Hays Lane
Rockwall, Texas 75087
972.388.6383
Contact: Pat Atkins



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INST. NO.	INSTRUMENT NUMBER
DOC. NO.	DOCUMENT NUMBER
DRDCT	DEED RECORDS, DALLAS COUNTY, TEXAS
MRDCT	MAP RECORDS, DALLAS COUNTY, TEXAS



TYPICAL SIDEWALK SECTION
N.T.S.



Legend	
	Ex. Contour
	Prop. Contour
	Direction of Flow
	Prop. Storm Sewer
	Finish Floor Elev.

Preliminary Paving/Grading
SITE PLAN

Caldwell Farms

Block A, Lots 1-10
Block B, Lots 1-11
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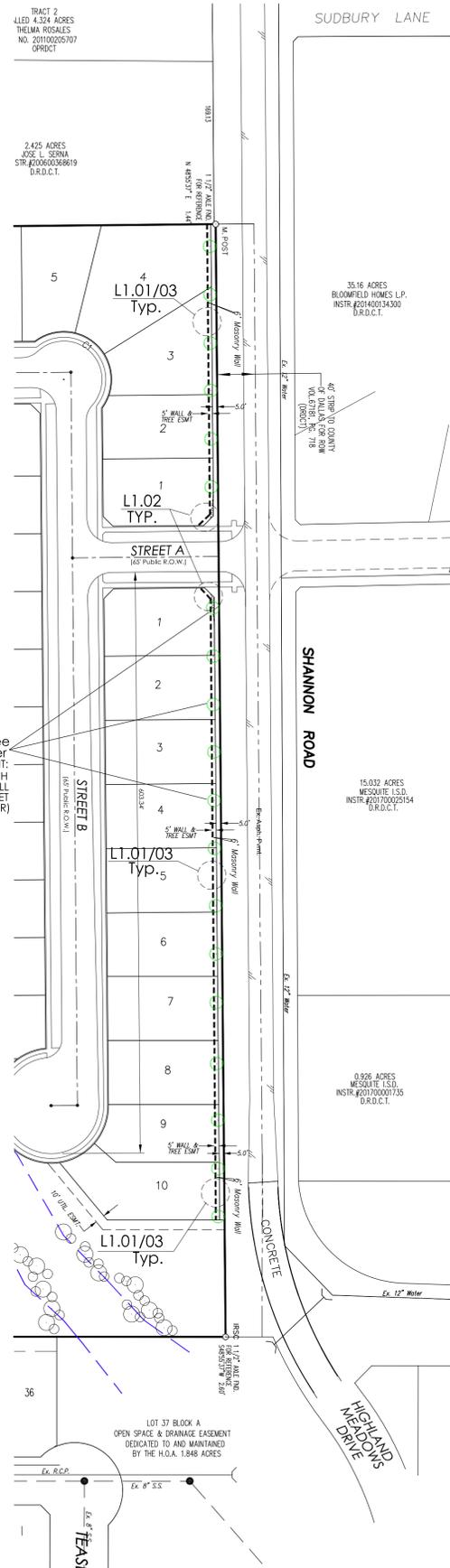
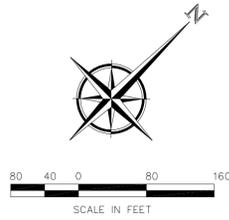
Owner:
CARL PORTER JR. CALDWELL
3301 SW 134th, Pl.
Miami, Florida 33175

Developer/Applicant:

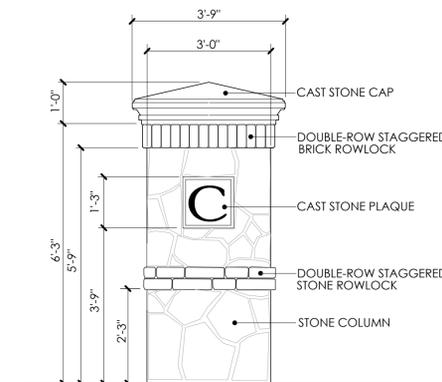
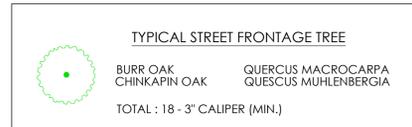


Surveyor:
R.C. Myers Surveying, LLC
488 Arroyo Ct.
Sunnyvale, Texas 75182
214.532.0636
Firm No. 10192300

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Rockwall, Texas 75087
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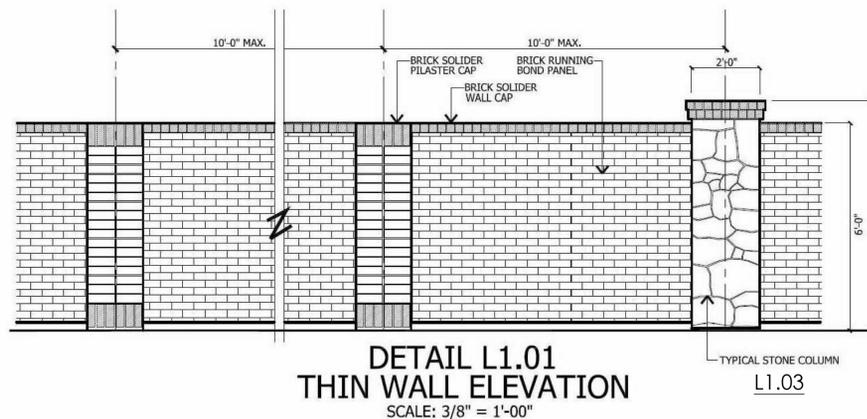


Typ. Shade Tree
Min. 3" Caliper
NOTE: BUFFER TREE LINE REQUIREMENT:
ONE TREE SHALL BE PROVIDED FOR EACH
35 LINEAR FEET AND TREES SHALL
PLANTED NO MORE THAN 35 FEET
APART (ON CENTER)



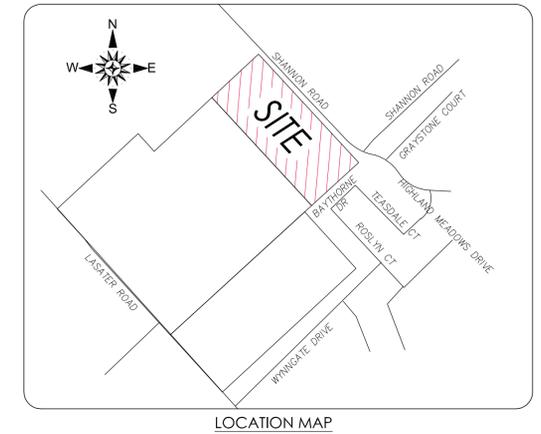
L1.02
ENTRY COLUMN ELEVATION
N.T.S.

NOTE: SCREENING WALL IS TO FOLLOW THE CONSTRUCTION STANDARDS IN THE ENGINEERING DESIGN MANUAL FOR LONG-SPAN PRECAST CONCRETE DECORATIVE SCREENING WALLS.



DETAIL L1.01
THIN WALL ELEVATION
SCALE: 3/8" = 1'-00"

LEGEND	
IRS	1/2" IRON ROD SET WITH YELLOW CAP STAMPED "RPLS 3963"
IRF	IRON ROD FOUND
CM	CONTROL MONUMENT
U.E.	UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT
B.L.	BUILDING LINE
INST. NO.	INSTRUMENT NUMBER
DOC. NO.	DOCUMENT NUMBER
DRDCT	DEED RECORDS, DALLAS COUNTY, TEXAS
MRDCT	MAP RECORDS, DALLAS COUNTY, TEXAS



Screening Wall & Landscape Plan

SITE PLAN

Caldwell Farms

Block A, Lots 1-10
Block B, Lots 1-11
Block C, Lots 1-7
4 Common Areas, Lot 1X-4X

Being a 13.254 Acre Tract in the 8838 Block out of S.A. Haught Survey, Abstract No. 567 in the City of Mesquite, Dallas County, Texas

Owner:
CARL PORTER JR. CALDWELL
3301 SW 134th. Pl.
Miami, Florida 33175

Surveyor:
R.C. Myers Surveying, LLC
488 Arroyo Ct.
Sunnyvale, Texas 75182
214.532.0636
Firm No. 10192300



Developer/Applicant:
3076 Hays Lane
Rockwall, Texas 75087
972.388.6383
Contact: Pat Atkins



PLANNING AND ZONING DIVISION

FILE NUMBER: Z0720-0143
REQUEST FOR: Conditional Use Permit
CASE MANAGER: John Chapman, Planner

PUBLIC HEARINGS

Planning and Zoning Commission: Monday, September 14, 2020
 City Council: Monday, October 5, 2020

GENERAL INFORMATION

Applicant: Masterplan, Maxwell Fisher
Requested Action: Conditional Use Permit to permit a car wash (SIC 7542) with modification to the 100-foot residential buffer requirement.
Location: 1200 Pioneer Road

SITE BACKGROUND

Platting: Property will require platting
Size: 44,322 square feet (1.017 acres)
Zoning: General Retail (GR)
Future Land Use: Neighborhood Retail
Zoning History: 1960 – Denied special permit for a zoning change to Local Retail
 1961 – Denied special permit for a zoning change to Local Retail
 1971 – Approved zoning change from R-3 Single Family Residential to GR – General Retail (FKA Local Retail)

Surrounding Zoning and Land Uses (see attachment 3):

	<u>ZONING</u>	<u>EXISTING LAND USE</u>
NORTH:	GR - General Retail	Vacant, Undeveloped
SOUTH:	GR - General Retail	Dollar General
EAST:	R-3, Single Family Residential	Single Family Residences
WEST:	R-3, Single Family Residential	Single Family Residences

CASE SUMMARY

The Conditional Use Permit (CUP) is being proposed as part of a larger two-phase nonresidential development. The purpose of the request is for a tunnel car wash, including 13 vacuum stations and a two-story coffee/office/point-of-sales building.

MESQUITE COMPREHENSIVE PLAN

The *Mesquite Comprehensive Plan* designates this area as Neighborhood Retail on the Future Land Use Map (see attachment 4).

“Neighborhood Retail establishments include a variety of retail and personal service businesses that meet the daily needs of the residents. This development type generally includes small or medium scale development ranging from 1,500 square feet to 45,000 square feet and one to two stories in height.”

Suggested land use types include, but are not limited to retail, restaurants, and personal services.

This land use should serve as a buffer from roadways for residential areas. A combination of screening, increased rear setbacks, and enhanced landscaping should be used to ensure adequate buffering from adjacent residential areas. Neighborhood retail should provide a transitional land use between residential uses and higher intensity commercial land uses.

STAFF COMMENTS:

The applicant describes the proposed development as providing “convenience services in proximity to the large housing stock within a one-mile radius of the property.” The size of the car wash is approximately 2,400 square feet, which is within the recommended development size. The development also includes limited hours of operation, buffering from residential, and a sound mitigated vacuum system to blend in better with the surrounding residential zoning. Taking all of the above into account, Staff believes this development meets the intentions and spirit of the *Mesquite Comprehensive Plan*.

MESQUITE ZONING ORDINANCE

SEC. 5-303: REVIEW CRITERIA FOR CONDITIONAL USE PERMITS

1. **Existing Uses:** That the Conditional Use will not be injurious to the use and enjoyment of other property in the immediate area for purposes already permitted, nor substantially diminish and impair property values within the immediate vicinity.
2. **Vacant Properties:** That the Conditional Use will not impede the normal and orderly development and improvement of surrounding vacant property for uses predominant in area.
3. **Services:** That adequate utilities, access roads, drainage, and other necessary facilities have been or are being provided. Conditional uses in residential districts shall generally require direct access to an arterial street.
4. **Parking:** That adequate measures have been or will be taken to provide sufficient off-street parking and loading spaces to serve the proposed uses.
5. **Performance Standards:** That adequate measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise, and vibration, so that none of these will constitute a nuisance and to control lighted signs and other lights in such a manner that no disturbance to neighboring properties will result.

STAFF COMMENTS:

1. Staff does not believe the proposed development and land use will be injurious to existing uses. The proposed development includes landscaping that will help buffer from residential uses as well as a “sound mitigated vacuum system,” as stated by the applicant. The hours of operation will be from 8 am to 9 pm (7 pm during winter hours).
2. The vacant property to the north is proposed to be a second phase development that is developed to meet the requirements of the GR – General Retail zoning district; therefore, Staff does not believe that this development would impede the orderly development and improvement of the surrounding vacant properties.
3. When reviewing the conceptual site plan, Staff found that the proposal will have adequate utilities and will continue to ensure so during the platting, site plan, and engineering phases.
4. Parking ratios for car washes are determined by the Development Review Committee (Sec. 3-405 (28)). The applicant has provided six spaces based on the maximum number of employees present at peak times and an additional sixteen spaces with one accessible parking space for customers. Given the nature of this land use, the remaining sixteen parking spaces are sufficient. There are thirteen additional parking spaces, which are intended only as vacuuming stations. If the undeveloped tract to the north intends to use

any number of the parking spaces on this tract, a Special Exception will be required; however, at this time, there is not enough knowledge to determine if one will be needed.

5. As detailed by the applicant in Attachment 6, Staff has reviewed the proposal and finds that the proposed development will ensure proper measures are taken to dampen noise by meeting buffer and screening requirements, encapsulating the vacuum motor system with silencer technology equipment, and the construction of an amenity/office building as well. Lighting will be required to meet all outdoor lighting standards and trash must be handled as with any nonresidential development.

SEC. 3-203: SCHEDULE OF PERMITTED USES

Car Washes, including Detail Shops (SIC 7542) have special conditions requiring the location of said use to be at least 100 feet from any residential district.

STAFF COMMENTS:

The applicant is requesting a modification to the 100-foot residential buffer. The subject property abuts residential zoning to the east and west. Staff believes reasonable measures have been taken by the applicant to help reduce any adverse impact on these properties, such as tree buffers and a masonry screening wall along the rear property line. The car wash structure itself will be approximately 173 feet and the vacuum motor will 185 feet away from the nearest residential property lines.

CONCLUSIONS

ANALYSIS

The proposed development offers a phased plan with the addition of a tunnel car wash. The applicant has designed the site to meet the *Mesquite Zoning Ordinance* and the spirit of the *Mesquite Comprehensive Plan*. The request for a modification to the residential buffer requirement is supported by the addition of a screening wall at the rear of the property, tree buffers, and a sound mitigated vacuum system. There are no tunnel car washes within the vicinity and because of the residential zoning density; a Conditional Use Permit would be required at any other General Retail-zoned property within a one-mile radius.

RECOMMENDATIONS

Staff recommends approval of the Conditional Use Permit to permit a car wash (SIC 7542) with modification to the 100-foot residential buffer requirement.

PUBLIC NOTICE

Staff mailed notices to all property owners within 200 feet of the subject property. As of the date of this writing, Staff has received four returned notices in opposition and one in favor of the request.

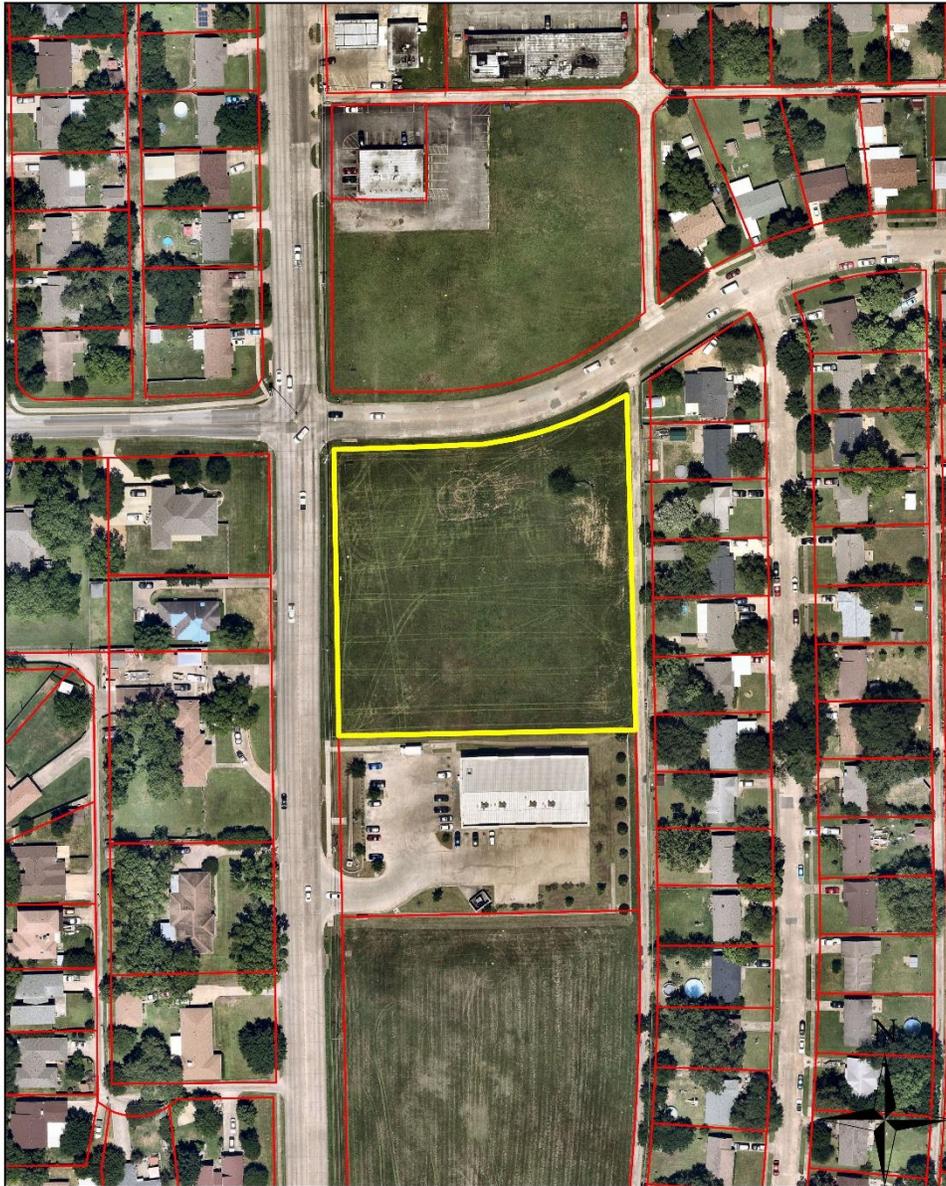
CODE CHECK

Code enforcement visited the site and did not report any code violations at the time of this writing.

ATTACHMENTS

1. Aerial Map
2. Public Notification Map
3. Zoning Map
4. Future Land Use Map
5. Site Pictures
6. Letter to Community
7. Exhibit A – Legal Description
8. Exhibit B – Concept Plan
9. Exhibit C – Development Standards
10. Returned Notices
11. Owner Authorization

Aerial Map

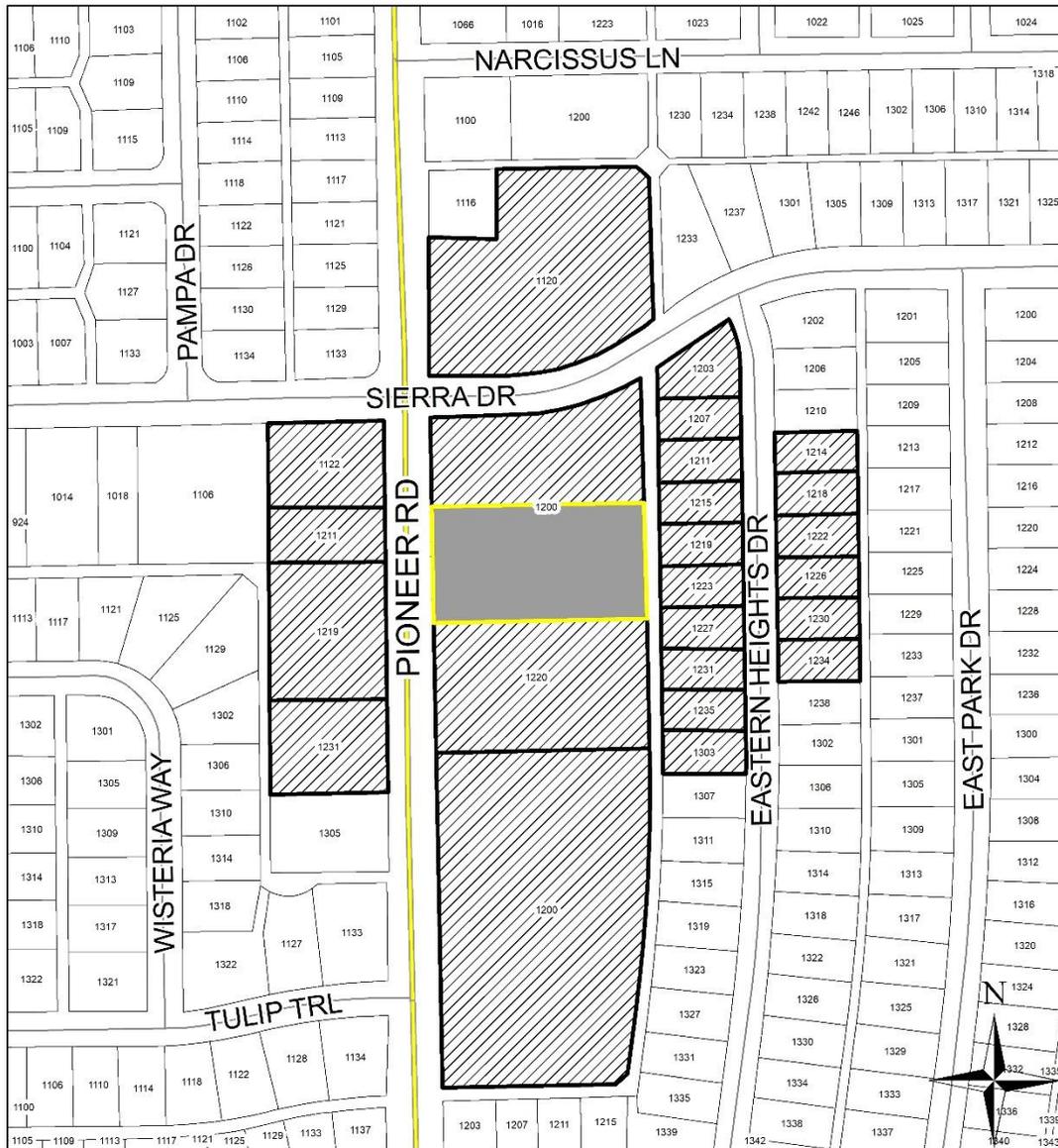


Legend

-  Subject Property
-  Parcels

ATTACHMENT 2 – PUBLIC NOTIFICATION MAP

Notification Map



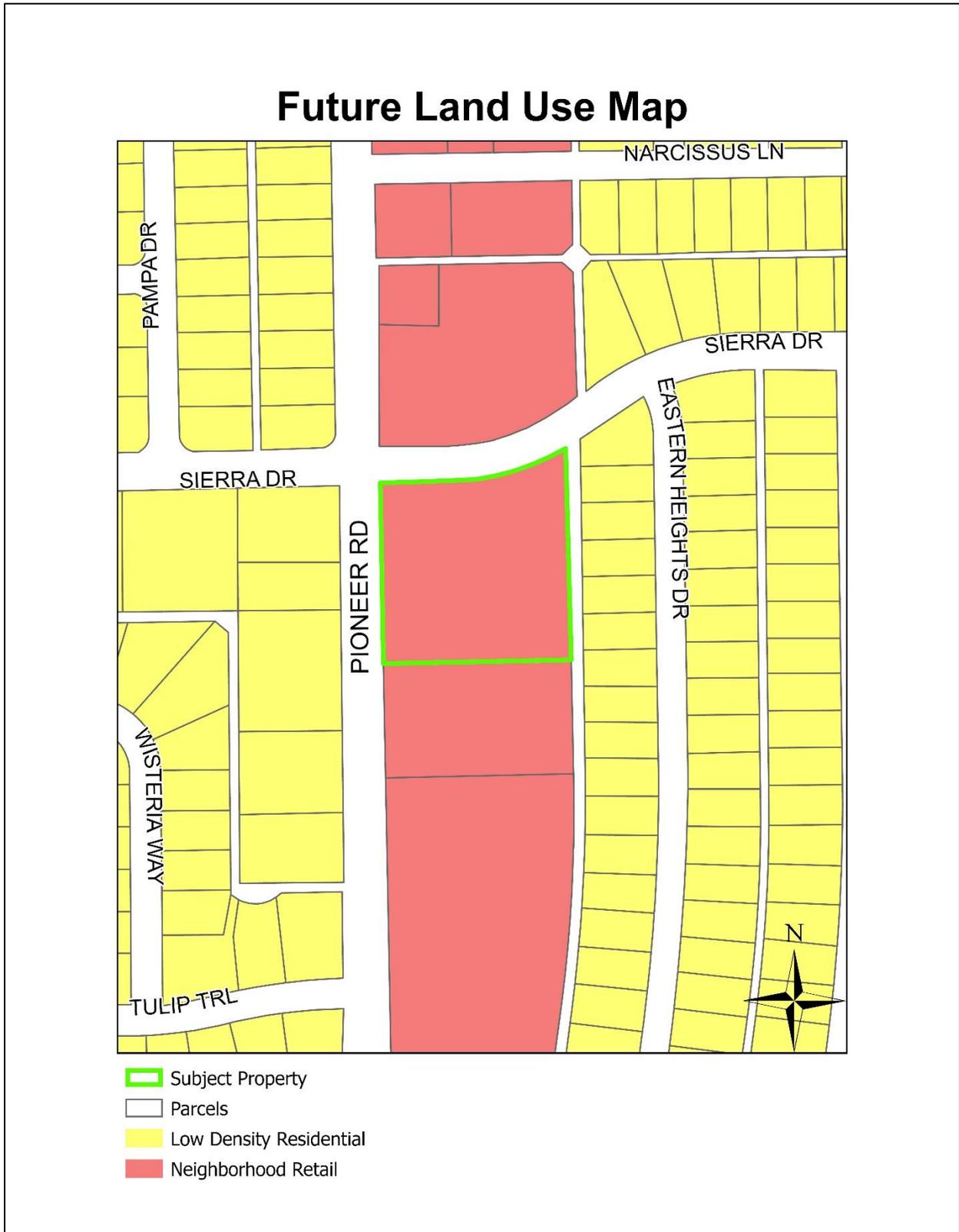
Request: Conditional Use Permit to allow for a car wash with modification to the 100-foot residential buffer.
Applicant: Masterplan
Location: 1200 Pioneer Road

Legend
[Yellow outline] Subject Property
[Diagonal lines] Noticed Properties

ATTACHMENT 3 – ZONING MAP



ATTACHMENT 4 – FUTURE LAND USE MAP



ATTACHMENT 5 – SITE PICTURES



View of subject property from Pioneer Road



View from rear of property towards Pioneer Road



View of subject property from across Pioneer Road



View from corner of Sierra Drive and Pioneer Road towards subject property

ATTACHMENT 8 – LETTER TO COMMUNITY

Dear Madam or Sir:

Re: Case Number: Z0720-0143

Hello my name is Jamie Mobley and I am a US Army Reserve Veteran. My husband and I are proposing a new car wash and retail coffee shop development at the south east corner of Pioneer Rd and Sierra Dr and wanted to address specific concerns from residents in your neighborhood. This development will be a family-owned and operated, fully staffed modern automated tunnel car wash with a separate detached retail coffee shop for customers. This will **NOT** be an unattended self-service car wash. The proposed car wash will have a family-friendly environment with set normal operating hours from 8am to 9pm (7pm during winter hours). All customers will be required to vacate the property by 9PM. In addition, the car wash will utilize traffic control barriers (cones and barricades) to limit and prevent access to the site after hours.

Community Partnership / Involvement – Our goal is for the car wash and coffee shop to be considered an asset and partner in the local community. Once established, we have plans to support and contribute to community fundraising efforts of local schools and non-profit community organizations (i.e. Keep Mesquite Beautiful, Mesquite ISD Education Foundation, Mesquite High School, Rutherford Elementary). In addition, we further plan to support the local community by hiring up to six full and part-time employees from the Mesquite area.

Crime / Loitering / Loud Music -- The car wash site will have 24/7 video recording and monitoring. City of Mesquite Police and security vehicles will be offered free coffee and discounted car washes during daytime hours to increase visibility of security presence. In addition, the car wash will periodically hire off-duty police officers and professional security firms for guard duty on nights and weekends as a visible deterrent for any potential criminal activity. "No Loitering" and "No Trespassing" signs will be posted on the property in several high visibility locations so that the facility is only used as it is intended during the normal operating hours. Although employee staffed car washes usually have no issues with loitering, our employee staff will be trained and instructed to ask customers to leave and (or) call the police if they see anyone engaging in gang related or criminal activities.

Noise Level -- The layout of the car wash is purposefully designed to have the least amount of noise impact to the adjacent residential lots in the back by having the main car wash building built much closer in proximity to Pioneer Rd. In addition, there will be (i) an 8 foot tall masonry wall along the eastern property line, (ii) along with a screen of newly planted trees, and (iii) an intervening retail coffee shop building that will act as a further noise buffer between the car wash and the residential lots. The car wash building will be at least 130 feet from the residential lots backing up to the property – so most noise will fade out in the existing ambient traffic noise along Pioneer Road. The vacuum motor and blower system will be encapsulated by a screen wall. In addition, the blower and vacuum motor systems will have silencer technology equipment (similar to a car muffler), to further reduce noise levels compared to typical car washes.

Trash -- Trash will be cleaned up daily by employee staff and placed in dumpster. Dumpsters will be picked up twice per week. A car wash may have customers disposing of leftover fast food from time to time, but there will not be certain odors commonly associated with restaurants that discard raw or spoiled food on a regular basis.

Lighting -- The development will use down-facing LED lighting for parking lot lighting. Most of the onsite lighting will face the interior of the lot away from residential lots. The goal is to provide lighting that secures the site during non-business hours but that does not spill onto adjacent properties causing light pollution.

If you have any further questions or concerns, please feel free to contact me or my project colleague Maxwell Fisher. We look forward to working with you to make this a quality development that is considered an asset to the local community.

Thank you Kindly,

Jamie Mobley

Maxwell Fisher, Masterplan Consultants

ATTACHMENT 7 – EXHIBIT A – LEGAL DESCRIPTION

EXHIBIT A – ZONING LEGAL DESCRIPTION
Z0720-0143 Page 1 of 1

BEING a tract of land situated in the W.J. Lewis Survey, Abstract Number 812, in the City of Mesquite, Dallas County, Texas, being a part of that same tract of land as described in warranty deed to SGSL Holdings, LLC and recorded under Instrument Number 201300364665, Official Public Records, Dallas County, Texas (O.P.R.D.C.T.), and being more particularly described by metes and bounds as follows (Bearings are based on Texas State Plane Coordinate System, North Central Zone (NAD83, U.S. Feet) with a combined scale factor of 1.000136506.):

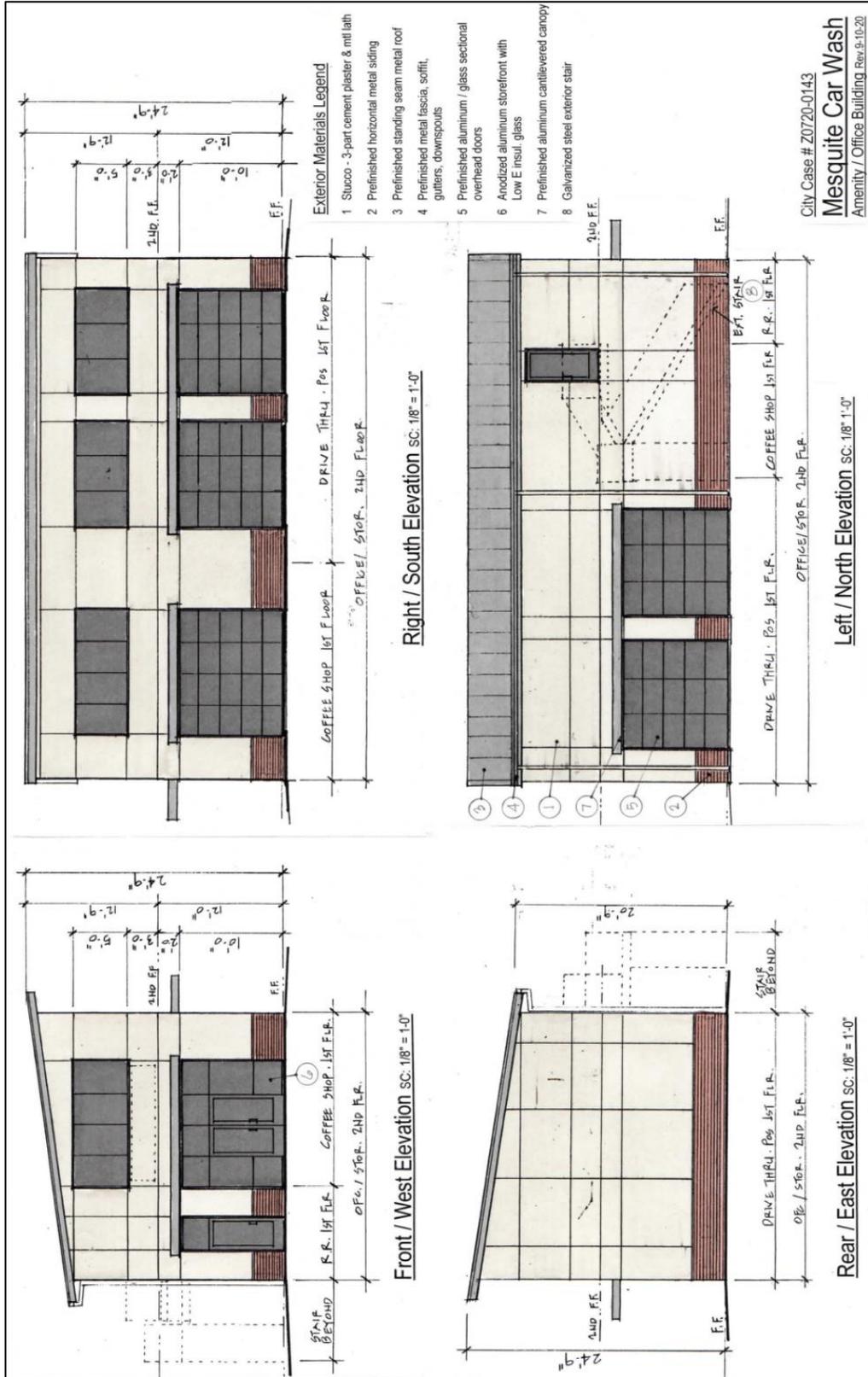
BEGINNING at a 1/2 inch iron rod found for the southwest corner of the herein described tract of land, same being the northwest corner of Lot 1, Block A, Dollar General, Pioneer Road Addition, an addition to the City of Mesquite, Dallas County, Texas, according to the Plat thereof recorded in Instrument Number 201400244594, Official Public Records, Dallas County, Texas (O.P.R.D.C.T.), and lying on the east right-of-way line of E. Pioneer Road (an 80-foot right-of-way);

THENCE North 01 degrees 10 minutes 51 seconds West, with the East right-of-way line of said E. Pioneer Road, a distance of 167.00 feet to a 1/2 inch iron rod set with a cap stamped "Windrose" for the Northwest corner of the herein described tract;

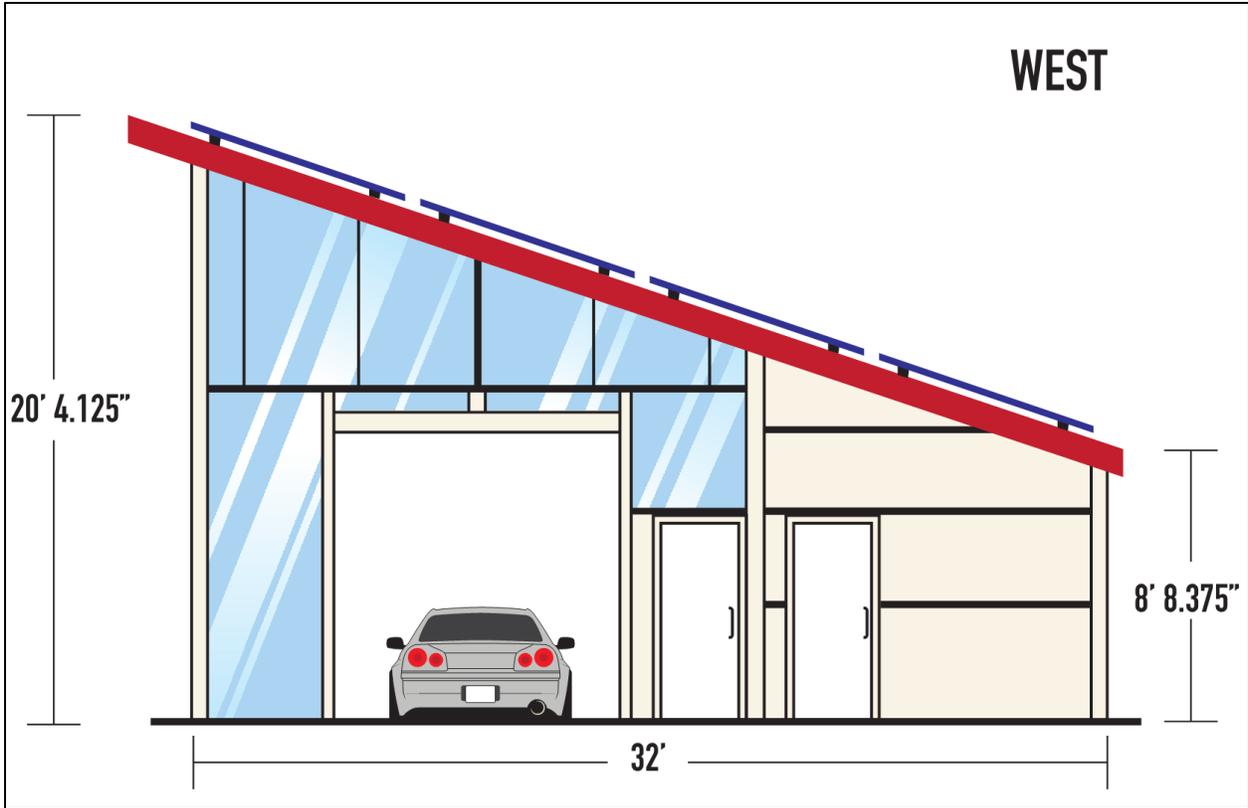
THENCE North 88 Degrees 49 Minutes 09 Seconds East, departing the East right-of-way line of said E. Pioneer Road, over, across, and upon said SGSL Holdings, LLC tract, a distance of 307.55 feet to a 1/2 inch iron rod set with a cap stamped "Windrose" for the Northeast corner of the herein described tract, lying on the East line of said SGSL Holdings, LLC tract, and on the West right-of-way line of a 15 foot public alley (as depicted in Volume 43, Page 81, Map Records, Dallas County, Texas);

THENCE South 01 Degrees 09 Minutes 31 Seconds East, with the West right-of-way line of said alley, a distance of 167.00 feet to a 1/2 inch iron rod with yellow cap stamped "Windrose" set for the Southeast corner of the herein described tract;

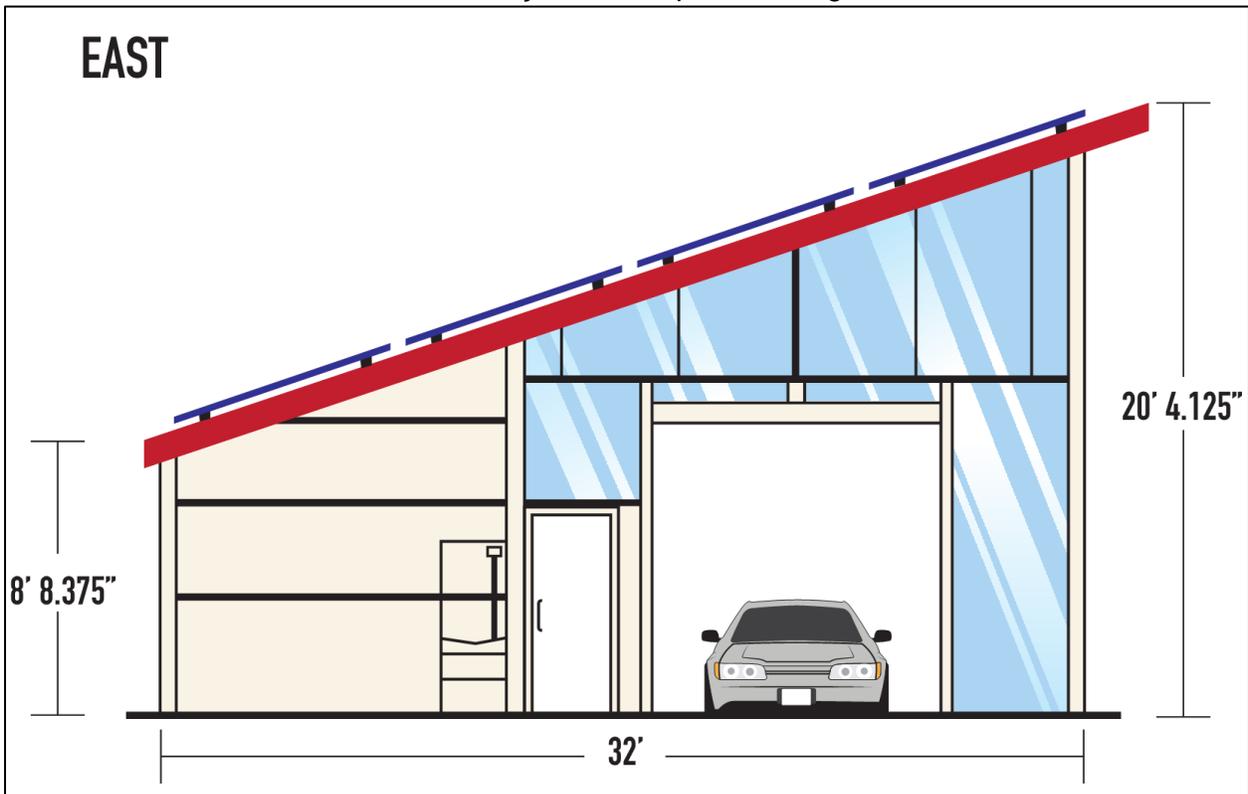
THENCE South 88 degrees 49 minutes 09 seconds West, passing at a distance of 3.00 feet a 1/2 inch iron rod with a cap stamped "Stovall" found for the northeast corner of said Lot 1, Block A, Dollar General, Pioneer Road Addition, and continuing for a total distance of 307.49 feet to the **POINT OF BEGINNING**, and containing 51,356 square feet or 1.179 acres of land, more or less.



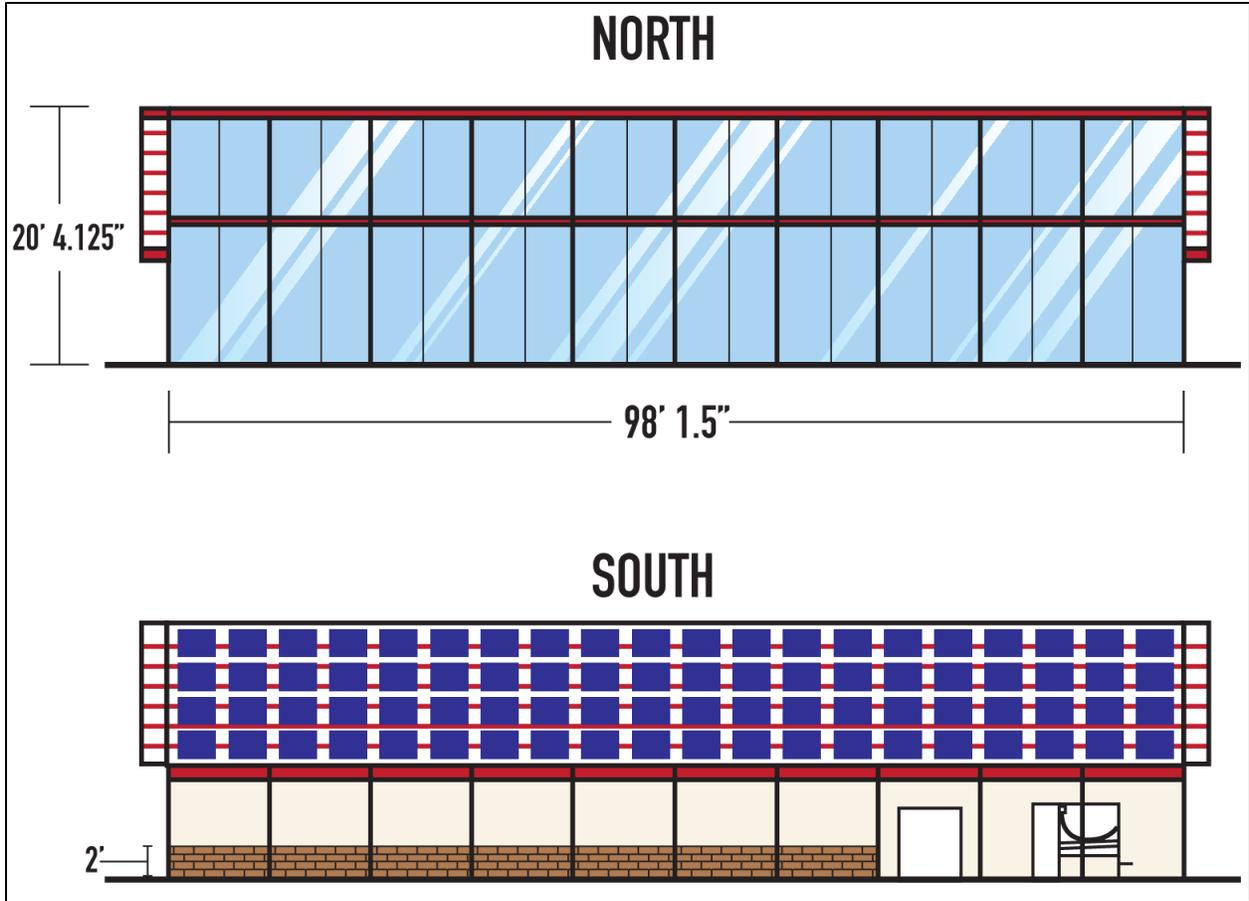
Amenity Building: Customer Coffee Shop/Point of Sale Pull-Through



West Façade Concept Rendering



East Façade Concept Rendering



North and South Façade Concept Rendering

ATTACHMENT 9 – EXHIBIT C – DEVELOPMENT STANDARDS

EXHIBIT C - CUP DEVELOPMENT STANDARDS

Z0720-0143 Page 1 of 1

This Conditional Use Permit (CUP) must adhere to all conditions of the Mesquite Code of Ordinances, as amended, and adopt base district standards corresponding with the Concept Plan attached hereto and incorporated herein as **Exhibit B** and as identified below. The following regulations apply to this General Retail with CUP District. Where these regulations conflict with or overlap another ordinance, easement, covenant or deed restrictions, the more stringent restriction will prevail and apply.

A. **Development Standards.** In addition to the requirements of the GR base zoning district, the CUP is subject to the following.

1. A minimum 8-foot wide sidewalk is required along Pioneer Road as generally shown on Exhibit B.
2. The vacuums and vacuum system equipment shall be located a minimum of 60 feet from the eastern property line.
3. The vacuum system shall be enclosed by a screening wall.
4. The vacuum system shall use noise reduction technology and equipment on blowers and vacuums to reduce noise levels.
5. All fencing shall be maintained in a like-new manner, meaning any portion of fencing showing signs of deterioration, broken or missing panels, or creating a safety hazard, shall be replaced.

B. **Operational Standards**

1. The hours of operation will be Monday to Sunday, 8 AM to 9 PM, however, in the winter months, operations will cease at 7 PM.

ATTACHMENT 10 – RETURNED NOTICES



CITY OF MESQUITE PLANNING AND ZONING COMMISSION
& CITY COUNCIL NOTICE OF PUBLIC HEARING

LOCATION: Portion of 1200 Pioneer Road (See attached map for reference)
CASE NUMBER: Z0720-0143
APPLICANT: Masterplan
REQUEST: From: GR – General Retail
To: GR – General Retail with a Conditional Use Permit for a Carwash (SIC 7542)

A public hearing will be held to consider a zoning change from GR – General Retail to GR – General Retail with a Conditional Use Permit for a Carwash (SIC 7542) with modification to the 100-foot residential buffer special condition for the purpose of developing a tunnel carwash. A list of permitted uses for each zoning district is available on the City's website at www.cityofmesquite.com/1250/Zoning-Ordinance. Please note that the City Council may approve a different zoning district than the one requested, except that the different district may not (1) have a maximum structure height or density that is higher than the one requested; or (2) be nonresidential when the one requested is for a residential use or vice versa.

LEGAL DESCRIPTION

Approximately +/- 1.2 acres located within W J Lewis Survey, Abstract 812, Page 740, Tract 7.

PUBLIC HEARINGS

The Planning and Zoning Commission will hold a public hearing on this request at 7:00 p.m. on Monday, **August 24, 2020**, at 757 N. Galloway Ave.

The City Council will hold a public hearing on this request at 7:00 p.m. on Monday, **September 21, 2020**, at 757 N. Galloway Ave.

This meeting will be available virtually. More information will be made available on the agenda when it is posted on the City's website at www.cityofmesquite.com/AgendaCenter.

Questions pertaining to this case may be directed to the Planning Division at (972) 329-8543 or jchapman@cityofmesquite.com

REPLY FORM

State law requires that cities notify all property owners within 200 feet of any proposed zoning change. For this reason, we are sending you this notice. As a property owner within 200 feet of the property, you are urged to give your opinion on the request by attending the public hearing or by completing the form below or both. Your written reply is important and will be considered by the Commission and the Council. The reply form (below) is provided to express your opinion on this matter. The form should be returned to the Planning Division by 5 pm on **August 20** to be included in the Planning and Zoning Commission packet and by 5 pm on **September 4** to be included in the City Council packet. All notices received after the listed dates will still be accepted and presented to Commission/Council, but will not be included in meeting packets.

(Complete and return)

By signing the form, I declare I am the owner or authorized agent of the property at the address written below.

Case Number: Z0720-0143

Name: (required)

Alice Harpold

I am in favor of this request

Address of Noticed Property:

1227 Eastern Heights, Mesquite

I am opposed to this request

Owner Signature:

Alice Harpold

Date:

8/20/20

Reasons (optional):

Too much noise. Will create too much late evening-night noise + traffic. Loud music + vacuums - all the time. Smells

from trash

Please respond by returning to:

PLANNING DIVISION
JOHN CHAPMAN
CITY OF MESQUITE
PO BOX 850137
MESQUITE TX 75185-0137

RECEIVED

AUG 19 2020

PLANNING AND ZONING



CITY OF MESQUITE PLANNING AND ZONING COMMISSION
NOTICE OF PUBLIC HEARING

LOCATION: 1836 Wilkinson Road. (See attached map for reference)
CASE NUMBER: Z0820-0144
APPLICANT: UTR Homes, LLC
REQUEST: From: PD-GR – Planned Development-General Retail
To: R-1 – Single Family Residential

RECEIVED
AUG 19 2020
PLANNING AND ZONING

A public hearing will be held to consider a zoning change from PD-GR – Planned Development-General Retail to R-2 Single Family Residential to develop a single-family residence. A list of permitted uses for each zoning district is available on the City's website at www.cityofmesquite.com/1250/Zoning-Ordinance. Please note that the City Council may approve a different zoning district than the one requested, except that the different district may not (1) have a maximum structure height or density that is higher than the one requested; or (2) be nonresidential when the one requested is for a residential use or vice versa.

LEGAL DESCRIPTION

Nile Valley Plantations, Lot 9 (See attached map for reference)

PUBLIC HEARINGS

The Planning and Zoning Commission will hold a public hearing on this request at 7:00 p.m. on Monday, **August 24, 2020**, at 757 N. Galloway Ave.

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(Complete and return)

By signing the form, I declare I am the owner or authorized agent of the property at the address written below.

Case Number: Z0820-0144 Name: (required) Craig Waters
I am in favor of this request Address of Noticed Property: 528 E. Cartwright
I am opposed to this request Owner Signature: Craig Waters Date: 8/15/2020

Reasons (optional): But while you are at it why not also consider changing back to R-2 the other properties in this area that you rezoned a couple of years ago. Then you would be in agreement with the recommendation of the Planning & Zoning Commission made at that time. c.w.

Please respond by returning to: PLANNING DIVISION
JOHN CHAPMAN
CITY OF MESQUITE
PO BOX 850137
MESQUITE TX 75185-0137



CITY OF MESQUITE PLANNING AND ZONING COMMISSION
 & CITY COUNCIL NOTICE OF PUBLIC HEARING

RECEIVED
AUG 19 2020
PLANNING AND ZONING

LOCATION: Portion of 1200 Pioneer Road (See attached map for reference)
CASE NUMBER: Z0720-0143
APPLICANT: Masterplan
REQUEST: From: GR – General Retail
 To: GR – General Retail with a Conditional Use Permit for a Carwash (SIC 7542)

A public hearing will be held to consider a zoning change from GR – General Retail to GR – General Retail with a Conditional Use Permit for a Carwash (SIC 7542) with modification to the 100-foot residential buffer special condition for the purpose of developing a tunnel carwash. A list of permitted uses for each zoning district is available on the City's website at www.cityofmesquite.com/1250/Zoning-Ordinance. Please note that the City Council may approve a different zoning district than the one requested, except that the different district may not (1) have a maximum structure height or density that is higher than the one requested; or (2) be nonresidential when the one requested is for a residential use or vice versa.

LEGAL DESCRIPTION

Approximately +/- 1.2 acres located within W J Lewis Survey, Abstract 812, Page 740, Tract 7.

PUBLIC HEARINGS

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(Complete and return)

By signing the form, I declare I am the owner or authorized agent of the property at the address written below.

Case Number: Z0720-0143 **Name: (required)** Marilyn McLaughlin

I am in favor of this request **Address of Noticed Property:** 1231 Eastern Heights Dr

I am opposed to this request **Owner Signature:** Marilyn McLaughlin **Date:** 8/16/20

Reasons (optional): Will create too much noise, trash, and traffic. Working class neighborhood will create too much noise at night

Alley too narrow for traffic to use, trash truck can barely use. Will become another gang hangout

Please respond by returning to: PLANNING DIVISION
 JOHN CHAPMAN
 CITY OF MESQUITE
 PO BOX 850137
 MESQUITE TX 75185-0137

with far families trying to sleep. Put out by all night laundry with all the flood lights



CITY OF MESQUITE PLANNING AND ZONING COMMISSION
& CITY COUNCIL NOTICE OF PUBLIC HEARING

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(Complete and return)

By signing the form, I declare I am the owner or authorized agent of the property at the address written below.

Case Number: Z0720-0143 Name: (required) Eve Van Simms-McCowan
I am in favor of this request Address of Noticed Property: 1223 eastern Heights or
I am opposed to this request Owner Signature: Eve Van Simms-McCowan Date: Aug 17, 2020

Reasons (optional): It would be detrimental to the neighborhood not safe and progressive for our children our neighborhood has small children and family oriented atmosphere. The loud music and crowd that car wash bring will have in adverse effect on the quiet resident atmosphere. Car washes are not progressive and will bring undesirable activities, drug, paper and trash, and large road.

RECEIVED

AUG 20 2020

PLANNING AND ZONING

Please respond by returning to:
PLANNING DIVISION
JOHN CHAPMAN
CITY OF MESQUITE
PO BOX 850137
MESQUITE TX 75185-0137



**CITY OF MESQUITE PLANNING AND ZONING COMMISSION
& CITY COUNCIL NOTICE OF PUBLIC HEARING**

LOCATION: Portion of 1200 Pioneer Road (See attached map for reference)
CASE NUMBER: Z0720-0143
APPLICANT: Masterplan
REQUEST: From: GR – General Retail
To: GR – General Retail with a Conditional Use Permit for a Carwash (SIC 7542)

A public hearing will be held to consider a zoning change from GR – General Retail to GR – General Retail with a Conditional Use Permit for a Carwash (SIC 7542) with modification to the 100-foot residential buffer special condition for the purpose of developing a tunnel carwash. A list of permitted uses for each zoning district is available on the City’s website at www.cityofmesquite.com/1250/Zoning-Ordinance. Please note that the City Council may approve a different zoning district than the one requested, except that the different district may not (1) have a maximum structure height or density that is higher than the one requested; or (2) be nonresidential when the one requested is for a residential use or vice versa.

LEGAL DESCRIPTION

Approximately +/- 1.2 acres located within W J Lewis Survey, Abstract 812, Page 740, Tract 7.

PUBLIC HEARINGS

The Planning and Zoning Commission will hold a public hearing on this request at 7:00 p.m. on Monday, **August 24, 2020**, at 757 N. Galloway Ave.

The City Council will hold a public hearing on this request at 7:00 p.m. on Monday, **September 21, 2020**, at 757 N. Galloway Ave.

This meeting will be available virtually. More information will be made available on the agenda when it is posted on the City’s website at www.cityofmesquite.com/AgendaCenter.

Questions pertaining to this case may be directed to the Planning Division at (972) 329-8543 or jchapman@cityofmesquite.com

REPLY FORM

State law requires that cities notify all property owners within 200 feet of any proposed zoning change. For this reason, we are sending you this notice. As a property owner within 200 feet of the property, you are urged to give your opinion on the request by attending the public hearing or by completing the form below or both. Your written reply is important and will be considered by the Commission and the Council. The reply form (below) is provided to express your opinion on this matter. The form should be returned to the Planning Division by 5 pm on **August 20** to be included in the Planning and Zoning Commission packet and by 5 pm on **September 4** to be included in the City Council packet. All notices received after the listed dates will still be accepted and presented to Commission/Council, but will not be included in meeting packets.

(Complete and return)

By signing the form, I declare I am the owner or authorized agent of the property at the address written below.

Case Number: Z0720-0143 Name: (required) Serge Contreras
I am in favor of this request Address of Noticed Property: 1215 Eastern Heights Dr
I am opposed to this request Owner Signature: [Signature] Date: 8/15/2020

Reasons (optional): RECEIVED
AUG 20 2020

PLANNING AND ZONING
Please respond by returning to: PLANNING DIVISION
JOHN CHAPMAN
CITY OF MESQUITE
PO BOX 850137
MESQUITE TX 75185-0137

ATTACHMENT 11 – OWNER AUTHORIZATION

Consent Form

Project Name: Pioneer SEC Development Submittal Date: 7/20/20

Application Type (check all that apply)

- | | | |
|--|--|---|
| <input type="checkbox"/> Rezoning | <input type="checkbox"/> Site Plan | <input type="checkbox"/> Residential Replat |
| <input type="checkbox"/> Planned Development | <input type="checkbox"/> Preliminary Plat | <input type="checkbox"/> Amending Plat |
| <input type="checkbox"/> Regulating Plan | <input type="checkbox"/> Short Form Final Plat | <input type="checkbox"/> Variance |
| <input checked="" type="checkbox"/> Conditional Use Permit (CUP) | <input type="checkbox"/> Final Plat | <input type="checkbox"/> Special Exception |

I hereby certify that I am the owner or duly authorized agent of the owner, of the subject property for the purposes of this application. I hereby give CONSENT to Maxwell Fisher, AICP (type, stamp or print clearly full name of agent/representative) to act on my behalf, to submit or have submitted this application and all required material and documents, and to attend and represent me at all meetings and public hearings pertaining to the application(s) indicated above. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify I have full knowledge of the property I have an ownership interest in is the subject of this application. I further certify the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the City of Mesquite, Texas, and will not be returned. I understand that any false, inaccurate or incomplete information provided by me or my agent/representative will result in the denial, revocation or administrative withdrawal of this application, request, approval or permit. I acknowledge that additional information may be required to process this application. I further agree to all terms and conditions, which may be imposed as part of the approval of this application.

I hereby authorize the City of Mesquite, its agents or employees, to enter the subject property at any reasonable time for the purpose of 1) Erecting, maintaining, or removing "Change of Zoning" signs, which indicate that a zoning amendment is under consideration and which indicate how further information may be obtained, and 2) Taking photographs documenting current use and current conditions of the property; and further, I release the City of Mesquite, its agents or employees from liability for any damages which may be incurred to the subject property in the erecting, maintaining, or removal of said signs or the taking of said photographs.

Current Property Owner Information

Name: Infinity 2020 Partners, LLC Signature: Jamie Mobley-Sinkler
Address: 5000 Eldorado Parkway City, State, ZIP: Frisco, TX 75033

Agent/Representative Information

Name: Maxwell Fisher, AICP
Address: 2201 Main Street, Suite 1280 City, State, ZIP: Dallas, TX 7521



PLANNING AND ZONING DIVISION

FILE NUMBER: Z0220-0129
REQUEST FOR: "PD," Planned Development District
CASE MANAGER: Garrett Langford

PUBLIC HEARINGS

Planning and Zoning Commission: Monday, September 14, 2020
City Council: Monday, September 21, 2020

GENERAL INFORMATION

Applicant: Huffines Land Holding Partners, L.P.
Requested Action: Rezone from Planned Development Ordinance No. 3538 and Agricultural to Planned Development to allow for a master-planned community.
Location: Generally located southwest of East Cartwright Road and both northwest and southeast of Faithon P. Lucas Sr., Boulevard.

SITE BACKGROUND

Platting: Not platted. Platting will be required.
Size: 1,424 (+/-) acres
Zoning: Agricultural and Planned Development Ordinance No. 3538
Land Use: Undeveloped / Agriculture
Zoning History: Annexed in 1984 and zoned Agriculture
Rezoned Planned Development Ordinance No. 3538 in 2002 (most of the subject of the property)

Surrounding Zoning and Land Uses:

Table with 2 columns: ZONING and LAND USE. Rows include NORTH, SOUTH, EAST, and WEST with corresponding zoning and land use descriptions.

CASE SUMMARY

The applicant is requesting to rezone approximately 1,424 +/- acres of land generally located southwest of East Cartwright Road and both northwest and southeast of Faithon P. Lucas Sr. Boulevard to allow construction of a master-planned community called Solterra. The primarily residential development will include trails, water features, open spaces, landscaping, and other amenities located throughout the development, as shown on the Overall Concept Plan (Exhibit C). The proposed Planned Development (PD) includes development standards for lot size, setbacks, density, street widths, and landscaping as shown in Exhibits B - I. If approved, the proposed development will follow the standard requirements in the Mesquite Zoning Ordinance (MZO) and Mesquite City Code except for those requirements specified in the approved PD Ordinance.

Along with rezoning, the applicant is pursuing a Master Development Agreement with the City to establish a Public Improvement District and a Tax Increment Reinvestment Zone (TIRZ) to assist in the financing of the development. If approved, the development agreement will detail the obligations of both the developer and the City. The agreement will specify additional standards and conditions that will govern the development. These standards and conditions will mirror those requirements in the PD and will include additional standards. This will include architectural requirements that, due to state law, are no longer enforceable through zoning.

Solterra will include approximately 3,900 single-family residential dwellings. Given the size of the development, it will take multiple phases and years for Solterra to reach full build-out. The residential dwellings will include a mixture of different house types and lot sizes, which will be integrated throughout the development. Mesquite ISD is aware of the project and publicly indicated that there are expansion plans already in place at the surrounding schools to serve the new residents. The applicant held a neighborhood meeting on the proposed development on February 27, 2020, at Horn High School. The Planning and Zoning Commission and City Council received a briefing on the project at a joint meeting on August 31, 2020. A video of the joint meeting is available online at <https://mesquitetx.swagit.com/play/08312020-851>.

MESQUITE COMPREHENSIVE PLAN

The *Mesquite Comprehensive Plan* designates the subject properties for Low Density Residential. The *Mesquite Comprehensive Plan* identifies Low Density Residential as “a traditional single family detached neighborhood where each dwelling unit is located on an individual lot. Densities may vary from one neighborhood to the next, as well as within the same subdivision to encourage diverse housing options.” The *Mesquite Comprehensive Plan* identifies Low Density Residential as 3-5 units per acre.

STAFF COMMENTS:

It is staff's opinion that the proposed Solterra PD meets the intent of Low Density Residential as described by the *Mesquite Comprehensive Plan*. Solterra will offer a range of diverse housing options by providing a variety of different housing and lot sizes. In addition, Solterra will provide a premier community with a distinct character and amenities, including open spaces, trails, amenity center, a variety of housing products with high architectural standards.

The gross density for Solterra is slightly below 3 units per acre, which is in line with the density anticipate for Low Density Residential.

CONCLUSIONS

ANALYSIS

Staff, including Planning, Engineering, Fire, and Traffic Engineering, have reviewed the proposed requirements in the PD. While the proposed standards in the PD differ from several typical City standards, it is staff's opinion that the proposed PD will provide for a high-quality development while maintaining safe and adequate infrastructure. The following identifies specific elements in the PD.

Permitted Uses:

While the PD is primarily single family residential, it will include a non-residential component called The Center of approximately 9 acres. The permitted uses within The Center area will be based on the General Retail zoning district with additional restrictions prohibiting certain uses (Exhibit B).

Concept Plan:

The proposed PD includes an overall concept plan (Exhibit C) that identifies the residential areas, non-residential areas, open spaces, and collector streets. It does not identify specific lot locations nor internal local street networks. The PD includes a detailed concept plan (Exhibit C-1) showing the different lot type locations and internal street network. As proposed, the PD will allow the developer flexibility in laying out each phase to respond to market demands while complying with the development standards in the PD and City's development codes.

Trail, Parks, and Open Space:

The PD includes trails, parks, and open spaces throughout the development (Exhibit D). The PD will require 40% of the 1,424 acres to be maintained as open space. One hundred ten acres of open space will be outside of the floodplain, while 485 acres of open space will include the floodplain. The open space will be maintained by a Homeowner's Association (HOA). The PD will require each dwelling to be within 0.25 mile (walking distance) of a park or useable open space

Dimensional Standards:

The proposed Solterra PD will not be based on one of the City's residential zoning districts for the underlying zoning. Instead, the PD will establish all the dimensional standards such as setback, lot sizes, and house sizes (Exhibit E). Design guidelines (Exhibit F) are included in the PD that graphically illustrate the dimensional standards for each residential product type.

Mixture of Residential Product Types:

The PD will require a mixture of different sized detached and attached residential product types, as shown in the tables below (Exhibit E).

Full Build-out Lot Percentages		
Type of Dwelling Unit	Lot Width at Street Frontage (linear feet)	Percentage of Total Units
Single-Family Attached (SF-A)	16 to 20	15% (maximum)
Single-Family Detached-1 (SF-D1)	30 to 49	30% (maximum)
Single-Family Detached-2 (SF-D2)	50-59	60% (maximum)
Single-Family Detached-3 (SF-D3)	60-69	8% (minimum)
Single-Family Detached-4 (SF-D4)	70 and up	2% (minimum)

Full Build-out Lot Percentages for Phase 1		
Type of Dwelling Unit	Lot Width at Street Frontage (linear feet)	Percentage of Total Units
Single-Family Attached (SF-A)	16 to 20	15% (maximum)
Single-Family Detached-1 (SF-D1)	30 to 49	40% (maximum)
Single-Family Detached-2 (SF-D2)	50-59	60% (maximum)
Single-Family Detached-3 (SF-D3)	60-69	8% (minimum)
Single-Family Detached-4 (SF-D4)	70 and up	2% (minimum)

Single Family Rental and Accessory Dwelling Units:

The PD will allow two tracts of land with a maximum of 12 acres for single family dwellings for rent only with a maximum density of 12 units per gross acre. These rentals are intended to provide a quality turnkey and low maintenance option for potential residents within Solterra.

The PD will allow accessory dwelling units for family members on single family lots that are 60 feet and wider. The PD will prohibit renting these units as separate units and establishes additional parking requirements.

Architectural and Anti-Monotony Standards:

Due to state legislation, the City can no longer use zoning to enforce architectural requirements that include building materials and aesthetic methods of construction. However, these architectural requirements can be enforced through a development agreement. The proposed Master Development Agreement will include the architectural requirements regulating building materials, building articulation, and transparency. Any architectural requirements or graphics

in the PD are for illustrative purposes and are not enforceable through zoning action. The PD will include anti-monotony requirements for single family homes, as shown in Exhibit G.

Landscaping:

The proposed PD establishes landscaping requirements for residential and non-residential trees. The proposed landscaping standards will require a significant number of trees that will significantly exceed the tree requirements in the Mesquite Zoning Ordinance. The PD will require tree planting based on the size of the lot. The Mesquite Zoning Ordinance does not have landscaping requirements for single family lots.

Tree Preservation:

The PD will require 40% (249 acres) of the existing tree canopy to be preserved (Exhibit H). The PD proposes to mitigate the removal of the remaining tree canopy by requiring trees to be planted along arterials and collectors, in the open spaces, and on each lot.

RECOMMENDATION

Staff recommends approving the Solterra PD.

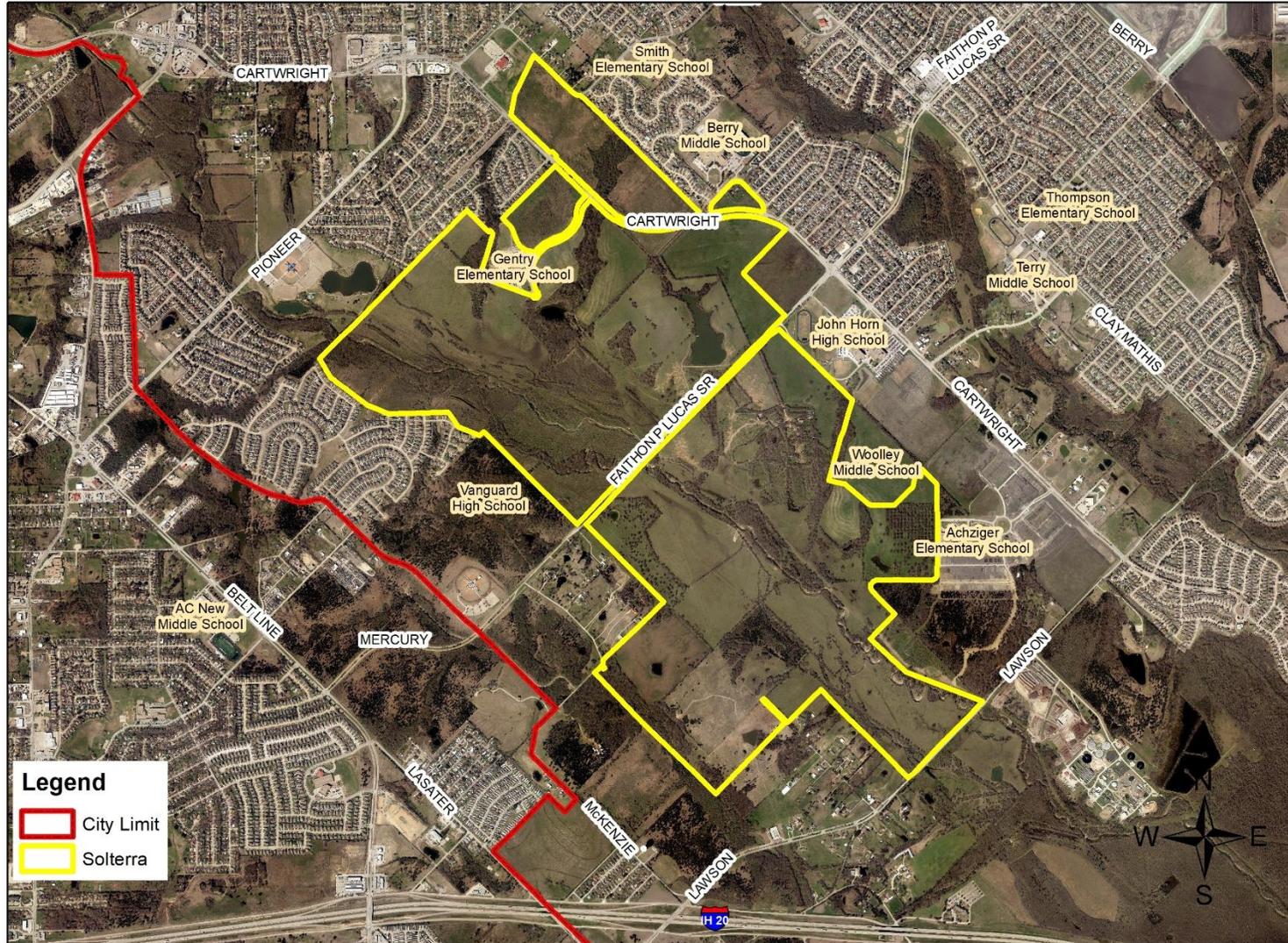
PUBLIC NOTICE

Staff mailed 283 notices to all property owners within 200 feet of the subject property. As of the date of this writing, Staff has three notices in favor and 13 notices in opposition.

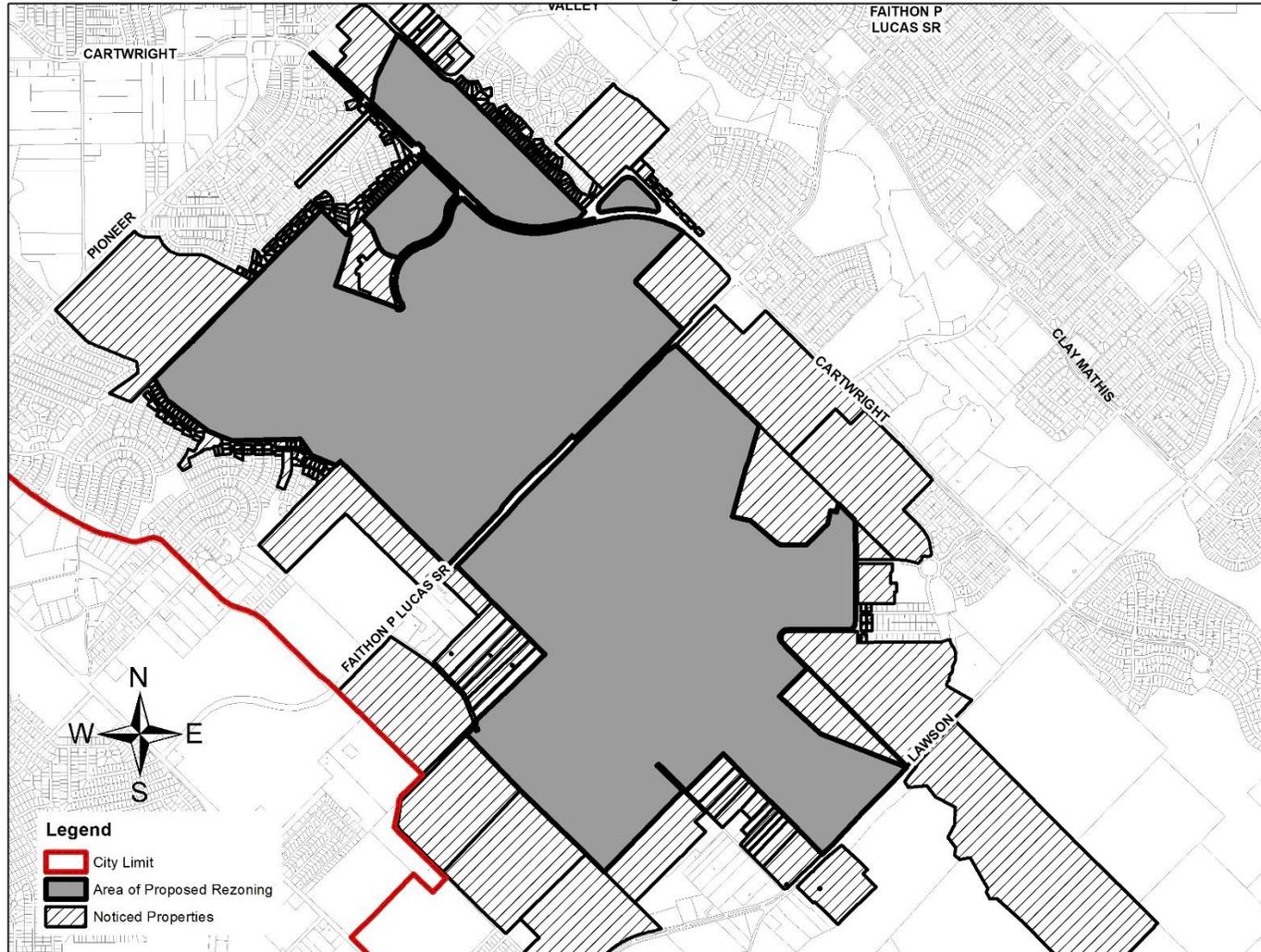
ATTACHMENTS

1. Aerial Map
 2. Public Notification Map
 3. Zoning Map
 4. Future Land Use Map
 5. Responses to the Public Notices
- Exhibit A – Legal Description
Exhibit B – Development Regulations
Exhibit C – Overall Concept Plan
Exhibit C-1 – Phase 1 Concept Plan
Exhibit D – Parks, Trails, Open Space Plan
Exhibit E – Development Standards Table (Dimensional and Setback Requirements)
Exhibit F – Illustrations of Residential Types
Exhibit G – Anti-Repetition Requirements for Single Family Detached Homes and Duplexes
Exhibit H – Tree Preservation
Exhibit I – Permitted Non-Standard Street Sections

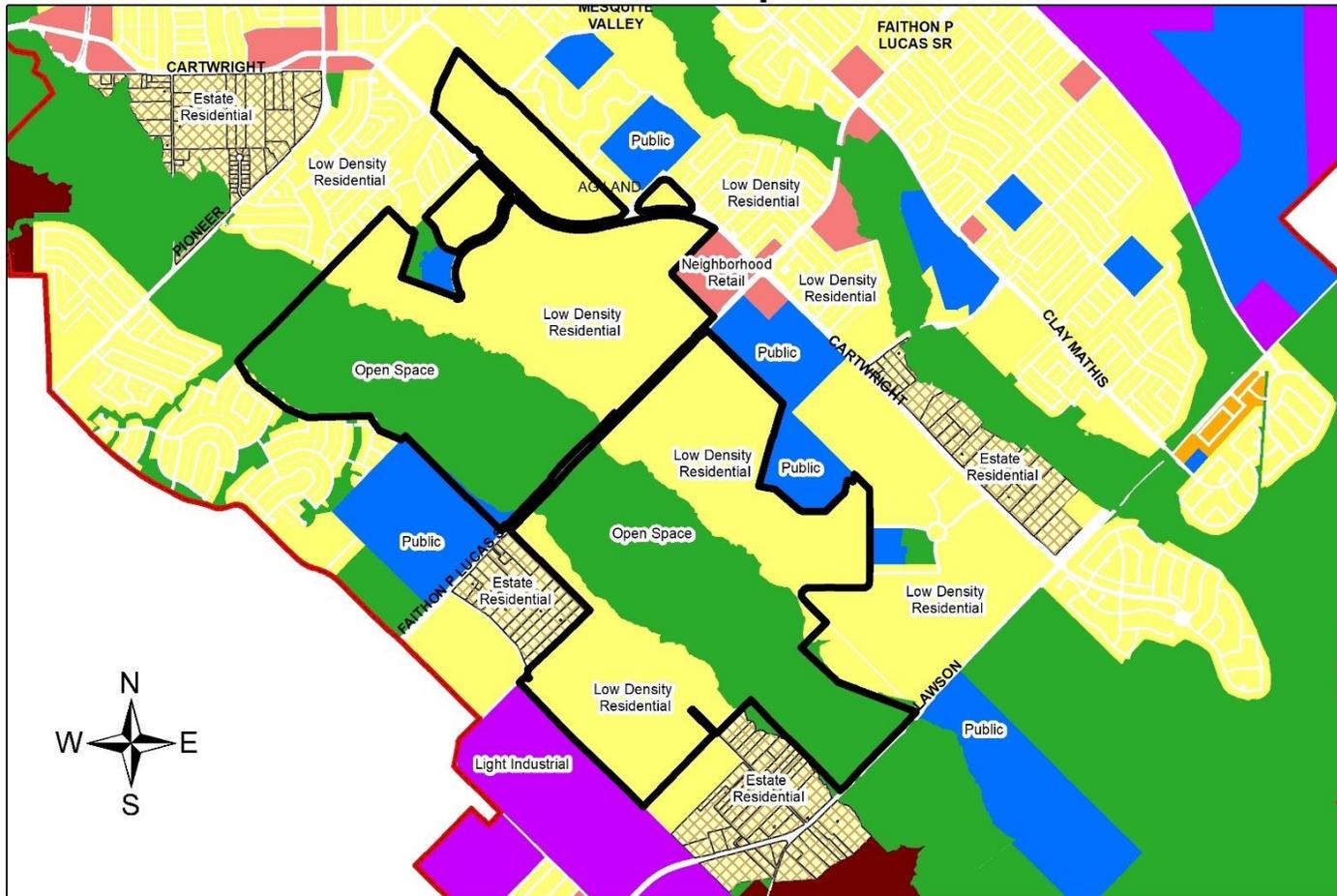
Location Map: Solterra



Notification Map: Solterra



Future Land Use Map: Solterra



Legend

City Limit	Estate Residential	Neighborhood Retail	Public/Semi-Public
Area of Proposed Rezoning	Low Density Residential	Commercial	Parks, Open Space, Drainage
	Medium Density Residential	Light Industrial	Utilities



CITY OF MESQUITE
PLANNING AND ZONING COMMISSION
NOTICE OF PUBLIC HEARING

LOCATION: Generally southwest of East Cartwright Road and both northwest and southeast of Faithon P. Lucas Sr., Boulevard (See attached map for reference)
FILE NUMBER: Z0220-0129
APPLICANT: Huffines Land Holding Partners, L.P.
REQUEST: From: Agricultural District and Planned Development District Ordinance No. 3538
To: Planned Development District

The requested Zoning Change would allow for a master-planned community that would provide development standards and allow mixed uses, residential and commercial uses. Development standards may include, but are not limited to, density, lot size, unit size, setbacks, building heights, lot coverage, parking ratios, screening, and other requirements or standards as the City Council may deem appropriate. A list of permitted uses for each zoning district is available on the City's website at www.cityofmesquite.com/1250/Zoning-Ordinance.

LEGAL DESCRIPTION

Being a 1,424.398-acre tract of land in the J. Anderson Survey, Abstract No. 1, City of Mesquite, Dallas County, Texas.

PUBLIC HEARINGS

The Planning and Zoning Commission will hold a public hearing on this request at 7:00 p.m. on Monday, **September 14, 2020**, in Training Rooms A & B at City Hall located at 757 N. Galloway Ave.

The City Council will hold a public hearing on this request at 7:00 p.m. on Monday, **September 21, 2020**, located in Training Rooms & B located at 757 N. Galloway Ave.

Questions pertaining to this case may be directed to the Planning Division at (972) 216-6343 or glangford@cityofmesquite.com

REPLY FORM

State law requires that cities notify all property owners within 200 feet of any proposed zoning change. For this reason, we are sending you this notice. As a property owner within 200 feet of the property, you are urged to give your opinion on the request by attending the public hearing or by completing the form below or both. Your written reply is important and will be considered by the Commission and the Council. The reply form (below) is provided to express your opinion on this matter. The form should be returned to the Planning Division by 5 p.m. on **September 10th** to be included in the Planning and Zoning Commission packet and by 5 p.m. on **September 15th** to be included in the City Council packet. All notices received after the listed dates will still be accepted and presented to Commission/Council, but will not be included in meeting packets.

(Complete and return)

Do not write on the reverse side of this form.

By signing the form, I declare I am the owner or authorized agent of the property at the address written below.

Zoning Case: Z0220-0129

I am in favor of this request

I am opposed to this request

Name:(required)

Address of

Noticed Property:

Owner Signature:

MICHAEL W MONTANA

5010 MILAM ROAD MESQUITE, TX 75181

Michael W Montana

Date: 09/07/2020

Reasons (optional):

SEVERAL CONCERNS ON HOW DEVELOPMENT OF THIS AREA WILL AFFECT DRAINAGE NEED TO BE ADDRESSED AS WELL AS PLANS FOR MILAM RD

Please respond by returning to: PLANNING DIVISION
Garrett Langford
CITY OF MESQUITE
PO BOX 850137
MESQUITE TX 75185-0137

SEE ATTACHED FOR DETAILS

RECEIVED

SEP 09 2020

PLANNING AND ZONING

Michael Montana

From: Michael Montana
Sent: Monday, September 7, 2020 10:06 AM
To: glangford@cityofmesquite.com
Subject: Zoning change in support of future Solterra Development

Good morning Mr. Langford

My name is Mike Montana and my wife and I own the property at 5010 Milam Road here in Mesquite. I received a letter regarding the proposed zoning changes to allow the development of the old Lucas Farms property. The form asked me to comment in regard to support or opposition to this effort and I wanted to seek some additional details before replying. I have been discussing off and on with the city for several years regarding this property's development for the last 20 years as it has the potential to have major impact to my property. I recall a few years ago a similar zoning request was made and I was vocal to the city council that this zoning change be rejected. Combined with several other factors, the zoning change was indeed rejected

I have looked on line to try and get some additional details about the development to see if my concerns from several years ago have been addressed but I have been unable to find more detailed maps or specific usage plans for the areas near my home. My hope is that these are available and you can provide them to me.

Here are the specific areas of concern that I would like to raise

1) Flow of water thru south mesquite creek. My property line ends just south of south mesquite creek. In the years that we have lived here we have been fortunate that even in the times of greatest storms, the water has risen to cover a large portion of my back pasture but has never threatened my home or barns. For the continued protection of my home as well as that of my neighbors on Milam Road we need to ensure that any development of this property does not create greater pressure on the water flow thru south mesquite creek nor does it impact negatively the ability of south mesquite creek to safely provide drainage to this area

2) Water flow from the hill top in the southwest corner of the development. There is a significant amount of elevation change from the highest points in the proposed development area to the lower elevations of south mesquite creek. When I purchased my property I made sure that we have well planned structure for water flow from the hill top down to south mesquite creek. The elevation of my home, berms that were integrated into the property, and ensuring proper draining thru the pastures in the area are all critical to ensure my home does not get damaged. For the past 2 years, we have had significant issues with the draining due to the individual that leased the property at the top of the hill making subtle changes to the draining flow of the area. This problem grew so severe that several meetings were held with the city of Mesquite in July of 2019 and the gentleman leasing the property was instructed to make changes to the area to ensure he restored the water draining to the natural flow prior to his activity. You can contact the individuals below for more information

Curtis J. Cassidy <ccassidy@cityofmesquite.com>;

Jasmine Ferrell <jferrell@cityofmesquite.com>;

Wes McClure <wmclure@cityofmesquite.com>;

Jonathan Browning <jbrownin@cityofmesquite.com>

The reason that I bring this up is that the water shed from the top of the hill to south mesquite creek is a very delicate system. And if the developer of this property does not make significant efforts to ensure the draining of water is handled properly, my property and my house can be severely impacted.

3) Milam road is currently a narrow asphalt road up to the corner of my property line. (I actually had to extend the road when I built my house) The map that I received in the letter seems to show Milam road extending into the development

ATTACHMENT 5 - PUBLIC RESPONSES

area. If you have opportunity to drive out here one day I would be happy to show you what that really is. As soon as the road extends beyond my driveway, asphalt ends and the road is a combination of dirt and rock, eventually becoming nothing more than a pattern of ruts along the pasture. In past zoning request, the developer was seeking to actually use Milam roads as a access point to the new development. This is something that I am strongly opposed to. The impact to the property owners along Milam road to expand this road to meet city requirements would be severe. Power lines and poles, water lines, fire hydrants, cable services, fence lines, trees, would all have to be ripped up. I expect that in some cases homes would be very close to the new road as some of these homes were built prior to the city of mesquite annexing this property. The flow of hundreds of additional vehicles down Milam road seeking to enter Lawson road would create a real mess for the traffic flow in the area and the residents. The properties on Milam road are all associated with acreage. My neighbors and I have horses and cattle on these pastures. So having an active road into a major subdivision sharing the road with trucks hauling trailers with animals and hay will be an undesirable situation. And any major construction on Milam rd is likely to create major flooding challenges to my house as discussed in item 2 above

4) I would like to have some understanding of the actual development that will be adjacent to the properties that are along Milam road. As stated above, most of my neighbors and I have cows, horse, and goats on our land here and our pastures are marked with barb wire fencing. Will there be any restrictions to the types of properties that will be adjacent to our property? What is the required distance from my property line to the new construction. Will there be any division between my property and the new development (walls or other structures?)

I look forward to hearing from you regarding these items. I will be attending the meeting in the 14th and look forward to hearing the discussion of the planning and zoning commission

Mike Montana

Phone – 972-523-7463

E-mail – montana@synopsys.com



CITY OF MESQUITE
PLANNING AND ZONING COMMISSION
NOTICE OF PUBLIC HEARING

LOCATION: Generally southwest of East Cartwright Road and both northwest and southeast of Faithon P. Lucas Sr., Boulevard (See attached map for reference)
FILE NUMBER: Z0220-0129
APPLICANT: Huffines Land Holding Partners, L.P.
REQUEST: From: Agricultural District and Planned Development District Ordinance No. 3538
To: Planned Development District

The requested Zoning Change would allow for a master-planned community that would provide development standards and allow mixed uses, residential and commercial uses. Development standards may include, but are not limited to, density, lot size, unit size, setbacks, building heights, lot coverage, parking ratios, screening, and other requirements or standards as the City Council may deem appropriate. A list of permitted uses for each zoning district is available on the City's website at www.cityofmesquite.com/1250/Zoning-Ordinance.

LEGAL DESCRIPTION

Being a 1,424.398-acre tract of land in the J. Anderson Survey, Abstract No. 1, City of Mesquite, Dallas County, Texas.

PUBLIC HEARINGS

The Planning and Zoning Commission will hold a public hearing on this request at 7:00 p.m. on Monday, September 14, 2020, in Training Rooms A & B at City Hall located at 757 N. Galloway Ave.

The City Council will hold a public hearing on this request at 7:00 p.m. on Monday, September 21, 2020, located in Training Rooms & B located at 757 N. Galloway Ave.

Questions pertaining to this case may be directed to the Planning Division at (972) 216-6343 or glangford@cityofmesquite.com

REPLY FORM

State law requires that cities notify all property owners within 200 feet of any proposed zoning change. For this reason, we are sending you this notice. As a property owner within 200 feet of the property, you are urged to give your opinion on the request by attending the public hearing or by completing the form below or both. Your written reply is important and will be considered by the Commission and the Council. The reply form (below) is provided to express your opinion on this matter. The form should be returned to the Planning Division by 5 p.m. on September 10th to be included in the Planning and Zoning Commission packet and by 5 p.m. on September 15th to be included in the City Council packet. All notices received after the listed dates will still be accepted and presented to Commission/Council, but will not be included in meeting packets.

(Complete and return)

Do not write on the reverse side of this form.

By signing the form, I declare I am the owner or authorized agent of the property at the address written below.

Zoning Case: Z0220-0129

I am in favor of this request

I am opposed to this request

Name:(required)

Address of

Noticed Property:

Owner Signature:

John & Chris Gifford

1018 Braewick Ct

[Handwritten signature of John & Chris Gifford]

Date: 9-4-20

Reasons (optional):

Not wanting mere neighbors that will be load w/ car horns, stereo's, parties when we have a Natural utopia of beauty & wildlife

RECEIVED

SEP 09 2020

PLANNING AND ZONING

Please respond by returning to: PLANNING DIVISION
Garrett Langford
CITY OF MESQUITE
PO BOX 850137
MESQUITE TX 75185-0137



CITY OF MESQUITE
PLANNING AND ZONING COMMISSION
NOTICE OF PUBLIC HEARING

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REPLY FORM

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(Complete and return)

Do not write on the reverse side of this form.

By signing the form, I declare I am the owner or authorized agent of the property at the address written below.

Zoning Case: Z0220-0129

I am in favor of this request

I am opposed to this request

Name:(required)

Address of

Noticed Property:

Owner Signature:

MICHAEL WILLIAMS

1020 CHIMNEY CT

Michael Williams

Date: 9/8/2020

Reasons (optional):

BASED UPON WHAT WAS PRESENTED AT AN EARLIER MEETING, I AM NOT SATISFIED THAT THIS IS WHAT MESQUITE NEEDS. MORE SINGLE FAMILY HOUSING WITH SQUARE FOOTAGE BEGINNING AT 2500SF ON LOT SIZES NO SMALLER THAN 1/2 ACRE.

RECEIVED

SEP 09 2020

PLANNING AND ZONING

Please respond by returning to:

PLANNING DIVISION
Garrett Langford
CITY OF MESQUITE
PO BOX 850137
MESQUITE TX 75185-0137

MORE DETAILED INFORMATION IS NEEDED FROM HUFFINES ABOUT SCREENING FOR CURRENT PROPERTY OWNERS ON THE PERIMETER.



CITY OF MESQUITE
PLANNING AND ZONING COMMISSION
NOTICE OF PUBLIC HEARING

LOCATION: Generally southwest of East Cartwright Road and both northwest and southeast of Faithon P. Lucas Sr., Boulevard (See attached map for reference)
FILE NUMBER: Z0220-0129
APPLICANT: Huffines Land Holding Partners, L.P.
REQUEST: From: Agricultural District and Planned Development District Ordinance No. 3538
To: Planned Development District

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LEGAL DESCRIPTION

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Zoning Case: Z0220-0129

I am in favor of this request

I am opposed to this request

Name: (required) LONA Alane Malone
Address of Noticed Property: 5182 Milam Rd, Mesquite, TX 75181
Owner Signature: Alane Malone Date: 9/8/2020

Reasons (optional): Do not want Milam Rd to be opened. Drainage concerns from new development and Mesquite creeks Against proposed density, and lot and unit size, 50 acres of single family rental.

Please respond by returning to: PLANNING DIVISION
Garrett Langford
CITY OF MESQUITE
PO BOX 850137
MESQUITE TX 75185-0137

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SEP 09 2020
PLANNING AND ZONING



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Zoning Case: Z0220-0129

I am in favor of this request

I am opposed to this request

Name: (required) Kenneth MORMON
Address of Noticed Property: 3121 CANTYRA DRIVE
Owner Signature: Kenneth Mormon Date: 9-8-2020

Reasons (optional):

Please respond by returning to: PLANNING DIVISION
Garrett Langford
CITY OF MESQUITE
PO BOX 850137
MESQUITE TX 75185-0137

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SEP 09 2020
PLANNING AND ZONING



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Zoning Case: Z0220-0129

I am in favor of this request

I am opposed to this request

Name: (required)

Address of

Noticed Property:

Owner Signature:

Gary L Fox

1001 Creekside Drive

[Handwritten signature]

Date: 9-7-20

Reasons (optional):

Crime, traffic and noise. Valley Creek subdivision is a 35 year old quiet and isolated single family neighborhood. Access to your new subdivision should come through Cartwright and Lucas Roads, not through Valley Creek subdivision

RECEIVED

SEP 08 2020

Please respond by returning to:

PLANNING DIVISION
Garrett Langford
CITY OF MESQUITE
PO BOX 850137
MESQUITE TX 75185-0137

Lucas Roads, not through Valley Creek subdivision



CITY OF MESQUITE
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Zoning Case: Z0220-0129

I am in favor of this request

I am opposed to this request **X**

Name: (required)

Address of

Noticed Property:

Owner Signature:

James + Monica Youngblood
1409 Barnhart Dr., Mesquite, TX 75181
K. Youngblood Date: *9/5/2020*

Reasons (optional):

I prefer to not have commercial building behind our house. We chose this location in part for the beautiful natural creek behind us.

Thank you.

Please respond by returning to:

PLANNING DIVISION
Garrett Langford
CITY OF MESQUITE
PO BOX 850137
MESQUITE TX 75185-0137

RECEIVED

SEP 10 2020

PLANNING AND ZONING



CITY OF MESQUITE
PLANNING AND ZONING COMMISSION
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Zoning Case: Z0220-0129

I am in favor of this request

I am opposed to this request

Name:(required)

Address of

Noticed Property:

Owner Signature:

DANIEL DIEBALL
3101 CANTARA DR Mesquite 75181
Daniel Dieball Date: 9/15/2020

Reasons (optional):

INCREASED TRAFFIC, NOISE AND CRIME

Please respond by returning to: PLANNING DIVISION
Garrett Langford
CITY OF MESQUITE
PO BOX 850137
MESQUITE TX 75185-0137

RECEIVED
SEP 10 2020
PLANNING AND ZONING



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Zoning Case: Z0220-0129

I am in favor of this request

I am opposed to this request X

Name: (required)

Address of

Noticed Property:

Owner Signature:

KIM EDWARDS
2500 COMFORT DR., MESQUITE, TX 75181
Kim Edwards Date: 9-7-20

Reasons (optional):

This request is due back before we are able to get more specific info from a public hearing. I bought my property specifically because I was told this land was a flood plain + nothing would be built there. This area does flood often.

Please respond by returning to:

PLANNING DIVISION
Garrett Langford
CITY OF MESQUITE
PO BOX 850137
MESQUITE TX 75185-0137

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SEP 10 2020

PLANNING AND ZONING



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Zoning Case: Z0220-0129

I am in favor of this request

I am opposed to this request

Name:(required)

Address of

Noticed Property:

Owner Signature:

Handwritten form completion: Name: ROY DURBIN, Address: 1022 FAIRVIEW CT, Owner Signature: Roy Durbin, Date: 9/7/2020

Reasons (optional):

Please respond by returning to: PLANNING DIVISION, Garrett Langford, CITY OF MESQUITE, PO BOX 850137, MESQUITE TX 75185-0137

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SEP 10 2020
PLANNING AND ZONING



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CITY OF MESQUITE
PLANNING AND ZONING COMMISSION
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Zoning Case: Z0220-0129

I am in favor of this request

I am opposed to this request

Name: (required)

Address of

Noticed Property

Owner Signature:

Robert Kern Judith Kern
5320 Milam Rd Mesquite, TX 75181
Randy - Judith Kern Date: 9/10/20

Reasons (optional):

Increased noise, traffic, building in a flood plain, wild life loss of homes.

Please respond by returning to: PLANNING DIVISION
Garrett Langford
CITY OF MESQUITE
PO BOX 850137
MESQUITE TX 75185-0137



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Zoning Case: Z0220-0129 Name:(required) MEG DORMAN
I am in favor of this request Address of 5270 MILAM ROAD
I am opposed to this request Owner Signature: Meg Dorman Date:

Reasons (optional): SEE ATTACHED

RECEIVED

SEP 10 2020

PLANNING AND ZONING

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Garrett Langford
CITY OF MESQUITE
PO BOX 850137
MESQUITE TX 75185-0137

Infrastructure can't
accommodate the
amount of traffic.

I don't want Milan
Road cut through -
the road is not wide
enough to take on
any more traffic -
and it's hard enough
to get out on South
Peak in the morning,
we don't see clear cut
a ticket - it's unique.
Not in favor of apartments
or "big glass" - top
many people blamed
into small spaces.

(1)

Actually - would
like to see bigger
lots so that driveway
can be bigger to
get cars off of the
streets - or even
near center garage
to make off the
house fronts more
cathedral style pleasing
and fewer cars to
look at.

My Comment
5270 Milan Road 75181
214-460-7161

(2)



CITY OF MESQUITE
PLANNING AND ZONING COMMISSION
NOTICE OF PUBLIC HEARING

LOCATION: Generally southwest of East Cartwright Road and both northwest and southeast of Faithon P. Lucas Sr., Boulevard (See attached map for reference)
FILE NUMBER: Z0220-0129
APPLICANT: Huffines Land Holding Partners, L.P.
REQUEST: From: Agricultural District and Planned Development District Ordinance No. 3538
To: Planned Development District

The requested Zoning Change would allow for a master-planned community that would provide development standards and allow mixed uses, residential and commercial uses. Development standards may include, but are not limited to, density, lot size, unit size, setbacks, building heights, lot coverage, parking ratios, screening, and other requirements or standards as the City Council may deem appropriate. A list of permitted uses for each zoning district is available on the City's website at www.cityofmesquite.com/1250/Zoning-Ordinance.

LEGAL DESCRIPTION

Being a 1,424.398-acre tract of land in the J. Anderson Survey, Abstract No. 1, City of Mesquite, Dallas County, Texas.

PUBLIC HEARINGS

The Planning and Zoning Commission will hold a public hearing on this request at 7:00 p.m. on Monday, September 14, 2020, in Training Rooms A & B at City Hall located at 757 N. Galloway Ave.

The City Council will hold a public hearing on this request at 7:00 p.m. on Monday, September 21, 2020, located in Training Rooms & B located at 757 N. Galloway Ave.

Questions pertaining to this case may be directed to the Planning Division at (972) 216-6343 or glangford@cityofmesquite.com

REPLY FORM

State law requires that cities notify all property owners within 200 feet of any proposed zoning change. For this reason, we are sending you this notice. As a property owner within 200 feet of the property, you are urged to give your opinion on the request by attending the public hearing or by completing the form below or both. Your written reply is important and will be considered by the Commission and the Council. The reply form (below) is provided to express your opinion on this matter. The form should be returned to the Planning Division by 5 p.m. on September 10th to be included in the Planning and Zoning Commission packet and by 5 p.m. on September 15th to be included in the City Council packet. All notices received after the listed dates will still be accepted and presented to Commission/Council, but will not be included in meeting packets.

(Complete and return)

Do not write on the reverse side of this form.

By signing the form, I declare I am the owner or authorized agent of the property at the address written below.

Zoning Case: Z0220-0129

I am in favor of this request

I am opposed to this request

Name:(required)

Address of

Noticed Property:

Owner Signature:

Bealvia M. Hagins

1356 Dawson Way Mes

Date: 09-

Reasons (optional):

Please respond by returning to: PLANNING DIVISION
Garrett Langford
CITY OF MESQUITE
PO BOX 850137
MESQUITE TX 75185-0137

RECEIVED

SEP 11 2020

PLANNING AND ZONING



FVI

CITY OF MESQUITE
PLANNING AND ZONING COMMISSION
NOTICE OF PUBLIC HEARING

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Zoning Case: Z0220-0129

I am in favor of this request



Name:(required)

Address of Noticed Property:

Owner Signature:

Mesquite ISD - Pete D. Pepec
3819 Downe Crossing Blvd
Pete D. Pepec
Date: 9-10-2020

Reasons (optional):

Please respond by returning to: PLANNING DIVISION
Garrett Langford
CITY OF MESQUITE
PO BOX 850137
MESQUITE TX 75185-0137

RECEIVED
SEP 10 2020
PLANNING AND ZONING



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Zoning Case: Z0220-0129

I am in favor of this request

I am opposed to this request

Name:(required)

Address of

Noticed Property:

Owner Signature:

Joyce Ricks
3224 Cantura Dr - Mesquite, TX 75181
Joyce Ricks Date: 9-8-2020

Reasons (optional):

Please respond by returning to: PLANNING DIVISION
Garrett Langford
CITY OF MESQUITE
PO BOX 850137
MESQUITE TX 75185-0137

RECEIVED
SEP 11 2020
PLANNING AND ZONING



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PLANNING AND ZONING COMMISSION
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(Complete and return)

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Zoning Case: Z0220-0129

I am in favor of this request

X

Name:(required)

(PHILLIP A. LUCAS) FAITHON P. LUCAS JR. FAMILY
100 HOLOMAN RD. MESQUITE, TX. TRUST

Address of

Noticed Property:

I am opposed to this request

Owner Signature:

Phillip A. Lucas

Date: 9/8/2020

Reasons (optional):

Please respond by returning to: PLANNING DIVISION
Garrett Langford
CITY OF MESQUITE
PO BOX 850137
MESQUITE TX 75185-0137

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SEP 11 2020
PLANNING AND ZONING

**Exhibit A
Metes and Bounds Description of the Property**

**LEGAL DESCRIPTION
1424.398 ACRES**

BEING A 1424.398 ACRE TRACT OF LAND SITUATED IN THE CITY OF MESQUITE, DALLAS COUNTY, TEXAS AND BEING PART OF THE J. ANDERSON SURVEY, ABSTRACT NO. 1, AND BEING ALL OF A CALLED 34.5 ACRE TRACT OF LAND CONVEYED AS "TRACT 1", ALL OF A CALLED 3.8 ACRE TRACT OF LAND CONVEYED AS "TRACT 2", ALL OF A CALLED 44.5 ACRE TRACT OF LAND CONVEYED AS "TRACT 3", ALL OF A CALLED 95.3 ACRE TRACT OF LAND CONVEYED AS "TRACT 4", PART OF THE REMAINDER OF A CALLED 400 ACRE TRACT OF LAND CONVEYED AS "TRACT 5", PART OF THE REMAINDER OF A CALLED 204.13 ACRE TRACT OF LAND CONVEYED AS "TRACT 6", PART OF THE REMAINDER OF A CALLED 140.65 ACRE TRACT OF LAND CONVEYED AS "TRACT 7", PART OF A CALLED 32 ACRE TRACT OF LAND CONVEYED AS "TRACT 8", PART OF A CALLED 54.15 ACRE TRACT OF LAND CONVEYED AS "TRACT 9", PART OF A CALLED 25 ACRE TRACT OF LAND CONVEYED AS "TRACT 10", PART OF THE REMAINDER OF A CALLED 132.42 ACRE TRACT OF LAND CONVEYED AS "TRACT 11", PART OF A CALLED 25 ACRE TRACT OF LAND CONVEYED AS "TRACT 12", PART OF CALLED 77.4 ACRE TRACT OF LAND CONVEYED AS "TRACT 13", TO LUCAS FARMS JOINT VENTURE, AS RECORDED IN VOLUME 93153, PAGE 8170, OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS, AND BEING PART OF THE REMAINDER OF A CALLED 119.95 ACRE TRACT OF LAND CONVEYED TO CAROLYN LUCAS BASS, TRUSTEE, AS RECORDED IN VOLUME 92253, PAGE 1749, OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS, AND ALL OF A CALLED 2.694 ACRE TRACT OF LAND CONVEYED TO LUCAS FARMS JOINT VENTURE, AS RECORDED IN VOLUME 2005041, PAGE 178, OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS, AND ALL OF A CALLED 2.06 ACRE TRACT OF LAND CONVEYED TO THE GEORGE F. LUCAS IRREVOCABLE DESCENDANT'S TRUST, AS RECORDED IN COUNTY CLERK'S FILE NO. 200213402221, OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS, ALL OF A CALLED 40 ACRE TRACT CONVEYED AS "TRACT NO. 1", PART OF A CALLED 75 ACRE TRACT OF LAND CONVEYED AS "TRACT NO. 2", ALL OF A TRACT OF LAND CONVEYED AS "TRACT NO. 3" AND ALL OF A CALLED 4/10ths OF AN ACRE TRACT CONVEYED AS "TRACT NO. 4", TO THE FAITHON PANTELI LUCAS JR. FAMILY TRUST, AS RECORDED IN COUNTY CLERK'S FILE NO. 20050391371, OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS, ALL OF A CALLED 50 ACRE TRACT OF LAND CONVEYED TO CAROLYN LUCAS BASS, TRUSTEE, AS RECORDED IN VOLUME 93013, PAGE 67, OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS AND ALL OF A CALLED 93.910 ACRE TRACT OF LAND CONVEYED TO CAROLYN LUCAS BASS, TRUSTEE OF THE GEORGE F. LUCAS IRREVOCABLE DESCENDANTS' TRUST, AS RECORDED IN VOLUME 93013, PAGE 70, OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS. SAID 1424.398 ACRE TRACT, WITH BEARING BASIS BEING GRID NORTH, TEXAS STATE PLANE COORDINATES, NORTH CENTRAL ZONE, NAD83 DATUM (NAD83 2011, EPOCH DATE 2010), DETERMINED BY GPS OBSERVATIONS, CALCULATED FROM

EXHIBIT A - LEGAL DESCRIPTION

ARLINGTON RRP2 CORS ARP (PID-DF5387) AND DALLAS CORS ARP (PID-DF8984). BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE NORTH CORNER OF SAID "TRACT 4", SAID POINT BEING IN THE APPROXIMATE CENTERLINE OF FAITHON P. LUCAS SR. BOULEVARD (A VARIABLE WIDTH PRESCRIPTIVE RIGHT-OF-WAY), FROM WHICH THE WEST CORNER OF LOT 1A, BLOCK A OF DR. JOHN D. HORN HIGH SCHOOL, AN ADDITION TO THE CITY OF MESQUITE, AS RECORDED IN COUNTY CLERK'S FILE NO. 200503600834, MAP RECORDS, DALLAS COUNTY, TEXAS BEARS SOUTH 45 DEGREES 55 MINUTES 12 SECONDS EAST, A DISTANCE OF 57.56 FEET;

THENCE, ALONG THE NORTHEAST LINE OF SAID "TRACT 4" AND THE SOUTHWEST LINE OF SAID LOT 1A, BLOCK A, THE FOLLOWING COURSES AND DISTANCES:

SOUTH 45 DEGREES 55 MINUTES 12 SECONDS EAST, A DISTANCE OF 1772.56 FEET TO A POINT FOR CORNER;

SOUTH 46 DEGREES 39 MINUTES 23 SECONDS EAST, A DISTANCE OF 82.92 FEET TO AN EAST CORNER OF SAID "TRACT 4", THE SOUTH CORNER OF SAID LOT 1A, BLOCK A, THE NORTH CORNER OF A CALLED 35.848 ACRE TRACT OF LAND CONVEYED TO MESQUITE INDEPENDENT SCHOOL DISTRICT, AS RECORDED IN COUNTY CLERK'S FILE NO. 201800303367, OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS AND THE WEST CORNER OF A CALLED 22.344 ACRE TRACT OF LAND CONVEYED TO MESQUITE INDEPENDENT SCHOOL DISTRICT, AS RECORDED IN COUNTY CLERK'S FILE NO. 20080016792, OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS;

THENCE, SOUTH 15 DEGREES 50 MINUTES 01 SECONDS WEST, ALONG THE SOUTHEAST LINE OF SAID "TRACT 4" AND THE NORTHWEST LINE OF SAID 35.848 ACRE TRACT, A DISTANCE OF 374.36 FEET TO A POINT FOR CORNER;

THENCE, OVER AND ACROSS SAID "TRACT 13" AND ALONG THE WEST LINE OF SAID 35.848 ACRE TRACT, THE FOLLOWING COURSES AND DISTANCES:

SOUTH 01 DEGREES 52 MINUTES 36 SECONDS WEST, A DISTANCE OF 439.47 FEET TO A POINT FOR CORNER;

SOUTH 11 DEGREES 29 MINUTES 48 SECONDS WEST, A DISTANCE OF 510.05 FEET TO A POINT FOR CORNER;

SOUTH 28 DEGREES 33 MINUTES 30 SECONDS WEST, A DISTANCE OF 159.13 FEET TO A POINT FOR CORNER;

EXHIBIT A - LEGAL DESCRIPTION

SOUTH 78 DEGREES 45 MINUTES 14 SECONDS EAST, A DISTANCE OF 145.44 FEET TO A POINT FOR CORNER;

SOUTH 45 DEGREES 10 MINUTES 23 SECONDS EAST, A DISTANCE OF 552.67 FEET TO A POINT FOR CORNER ON THE SOUTH LINE OF SAID "TRACT 13" AND THE NORTH LINE OF AFORESAID "TRACT NO. 1";

THENCE, NORTH 89 DEGREES 36 MINUTES 40 SECONDS EAST, ALONG SAID SOUTH LINE OF "TRACT 13", SAID NORTH LINE OF "TRACT NO. 1" AND THE SOUTH LINE OF SAID 35.848 ACRE TRACT, A DISTANCE OF 479.07 FEET TO A POINT FOR CORNER;

THENCE, OVER AND ACROSS SAID "TRACT 13" AND ALONG THE SOUTHEAST LINE OF SAID 35.848 ACRE TRACT, THE FOLLOWING COURSES AND DISTANCES:

NORTH 44 DEGREES 31 MINUTES 33 SECONDS EAST, A DISTANCE OF 465.08 FEET TO A POINT FOR CORNER;

NORTH 11 DEGREES 51 MINUTES 46 SECONDS EAST, A DISTANCE OF 209.22 FEET TO A POINT FOR CORNER;

SOUTH 78 DEGREES 08 MINUTES 24 SECONDS EAST, A DISTANCE OF 100.00 FEET TO A POINT FOR CORNER;

NORTH 11 DEGREES 51 MINUTES 46 SECONDS EAST, A DISTANCE OF 144.00 FEET TO A POINT FOR THE EAST CORNER OF SAID 35.848 ACRE TRACT, SAID POINT BEING ON THE NORTHEAST LINE OF SAID "TRACT 13" AND THE SOUTHWEST LINE OF A CALLED 134.201 ACRE TRACT OF LAND CONVEYED TO W.A. RIDGE RANCH, LLC, AS RECORDED IN COUNTY CLERK'S FILE NO. 20080025063, OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS;

THENCE, SOUTH 44 DEGREES 49 MINUTES 06 SECONDS EAST, ALONG SAID NORTHEAST LINE OF "TRACT 13" AND SAID SOUTHWEST LINE OF 134.201 ACRE TRACT, A DISTANCE OF 404.14 FEET TO A SOUTHEAST CORNER OF SAID "TRACT 13", SAID POINT BEING IN THE APPROXIMATE CENTER LINE OF HOLLOMAN ROAD (A VARIABLE WIDTH PRESCRIPTIVE RIGHT-OF-WAY – CLOSED);

THENCE, SOUTH 00 DEGREES 16 MINUTES 51 SECONDS EAST, ALONG THE EAST LINE OF SAID "TRACT 13", ALONG THE EAST LINE OF SAID "TRACT NO. 1" AND WITH SAID APPROXIMATE CENTERLINE OF HOLLOMAN ROAD, A DISTANCE OF 1683.70 FEET TO THE SOUTH CORNER OF SAID "TRACT NO. 1";

THENCE, SOUTH 89 DEGREES 01 MINUTES 52 SECONDS WEST, ALONG THE SOUTH LINE OF SAID "TRACT NO. 1" AND WITH SAID APPROXIMATE

EXHIBIT A - LEGAL DESCRIPTION

CENTERLINE OF HOLLOMAN ROAD, A DISTANCE OF 1156.84 FEET TO THE NORTHEAST CORNER OF AFORESAID "TRACT NO. 4";

THENCE, SOUTH 22 DEGREES 10 MINUTES 12 SECONDS WEST, ALONG THE SOUTHEAST LINE OF SAID "TRACT NO. 4" AND WITH SAID APPROXIMATE CENTERLINE OF HOLLOMAN ROAD, A DISTANCE OF 114.85 FEET TO THE SOUTH CORNER OF SAID "TRACT NO. 4", SAID POINT BEING ON THE NORTHEAST LINE OF AFORESAID "TRACT NO. 2" AND THE SOUTHWEST LINE OF A CALLED 93.102 ACRE TRACT OF LAND CONVEYED AS "TRACT II" TO W.A. RIDGE RANCH, LLC., AS RECORDED IN COUNTY CLERK'S FILE NO. 20070458237, OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS;

THENCE, SOUTH 45 DEGREES 12 MINUTES 59 SECONDS EAST, ALONG THE NORTHEAST LINE OF SAID "TRACT NO. 2", THE SOUTHWEST LINE OF SAID 93.102 ACRE TRACT, WITH THE NORTHEAST LINE OF SAID HOLLOMAN ROAD, A DISTANCE OF 636.15 FEET TO THE EAST CORNER OF SAID "TRACT NO. 2" AND THE NORTH CORNER OF A CALLED 18.674 ACRE TRACT OF LAND CONVEYED TO W.A. RIDGE RANCH, LLC., AS RECORDED IN COUNTY CLERK'S FILE NO. 200900124560, OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS;

THENCE, SOUTH 44 DEGREES 24 MINUTES 00 SECONDS WEST, A DISTANCE OF 531.59 FEET TO A POINT FOR CORNER;

THENCE, SOUTH 44 DEGREES 24 MINUTES 00 SECONDS WEST, ALONG THE SOUTHEAST LINE OF SAID "TRACT NO. 2" AND THE NORTHWEST LINE OF SAID 18.674 ACRE TRACT, A DISTANCE OF 531.59 FEET TO A WEST CORNER OF SAID 18.674 ACRE TRACT AND THE NORTH CORNER OF AFORESAID 93.910 ACRE TRACT;

THENCE, ALONG THE NORTHEAST LINE OF SAID 93.910 ACRE TRACT AND THE SOUTHWEST LINE OF SAID 18.674 ACRE TRACT, THE FOLLOWING COURSES AND DISTANCES:

SOUTH 43 DEGREES 25 MINUTES 58 SECONDS EAST, A DISTANCE OF 774.12 FEET TO A POINT FOR CORNER;

SOUTH 66 DEGREES 55 MINUTES 58 SECONDS EAST, A DISTANCE OF 1509.42 FEET TO AN EAST CORNER OF SAID 93.910 ACRE TRACT, THE EAST CORNER OF SAID 18.674 ACRE TRACT AND THE SOUTH CORNER OF AFORESAID 93.102 ACRE TRACT, SAID POINT BEING ON THE NORTHWEST RIGHT-OF-WAY LINE OF LAWSON ROAD (A VARIABLE WIDTH RIGHT-OF-WAY);

THENCE, SOUTH 44 DEGREES 14 MINUTES 05 SECONDS WEST, ALONG THE SOUTHEAST LINE OF SAID 93.910 ACRE TRACT, A DISTANCE OF 1905.91 FEET TO THE SOUTH CORNER OF SAID 93.910 ACRE TRACT;

EXHIBIT A - LEGAL DESCRIPTION

THENCE, NORTH 45 DEGREES 07 MINUTES 20 SECONDS WEST, ALONG THE SOUTHWEST LINE OF SAID 93.910 ACRE TRACT, A DISTANCE OF 2185.14 FEET TO THE WEST CORNER OF SAID 93.910 ACRE TRACT, SAID POINT BEING ON THE SOUTHEAST LINE OF AFORESAID "TRACT NO. 2";

THENCE, SOUTH 44 DEGREES 24 MINUTES 00 SECONDS WEST, ALONG SAID SOUTHEAST LINE OF "TRACT NO. 2", A DISTANCE OF 820.11 FEET TO A SOUTHWEST CORNER OF SAID "TRACT NO. 2", SAID POINT BEING ON THE NORTHEAST LINE OF A CALLED 23.889 ACRE TRACT OF LAND CONVEYED TO MARC S. ENGLISH, AS RECORDED IN COUNTY CLERK'S FILE NO. 20050848444, OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS;

THENCE, NORTH 45 DEGREES 23 MINUTES 37 SECONDS WEST, ALONG THE SOUTHWEST LINE OF SAID "TRACT NO. 2" AND THE NORTHEAST LINE OF SAID 23.889 ACRE TRACT, A DISTANCE OF 39.71 FEET TO THE EAST CORNER OF A CALLED 34.151 ACRE TRACT OF LAND CONVEYED TO ROBERT EUGENE CARATHERS & MARGARET LAVERNE CARATHERS, AS RECORDED IN VOLUME 82119, PAGE 2365, DEED RECORDS, DALLAS COUNTY, TEXAS;

THENCE, SOUTH 44 DEGREES 56 MINUTES 37 SECONDS WEST, ALONG THE SOUTHEAST LINE OF SAID 34.151 ACRE TRACT AND THE NORTHWEST LINE OF SAID 23.889 ACRE TRACT, A DISTANCE OF 1768.63 FEET TO THE SOUTH CORNER OF SAID 34.151 ACRE TRACT AND THE WEST CORNER OF SAID 23.889 ACRE TRACT, SAID POINT BEING ON THE NORTHEAST LINE OF A CALLED 102.8043 ACRE TRACT OF LAND CONVEYED TO THE CITY OF MESQUITE, AS RECORDED IN VOLUME 93248, PAGE 2192, OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS;

THENCE, NORTH 45 DEGREES 27 MINUTES 20 SECONDS WEST, ALONG THE SOUTHWEST LINE OF SAID 34.151 ACRE TRACT, THE NORTHEAST LINE OF SAID 102.8043 ACRE TRACT AND AFORESAID NORTHEAST LINE OF 56.542 ACRE TRACT, A DISTANCE OF 1785.44 FEET TO THE WEST CORNER OF SAID 34.179 ACRE TRACT AND THE SOUTH CORNER OF AFORESAID 50 ACRE TRACT, SAID POINT BEING ON THE NORTHEAST LINE OF A CALLED 56.542 ACRE TRACT OF LAND CONVEYED TO IH 20 IP LLC, AS RECORDED IN COUNTY CLERK'S FILE NO. 201800208658, OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS

THENCE, NORTH 45 DEGREES 23 MINUTES 37 SECONDS WEST, ALONG THE SOUTHWEST LINE OF SAID 50 ACRE TRACT, SAID NORTHEAST LINE OF 56.542 ACRE TRACT AND THE NORTHEAST LINE OF A CALLED 48.397 ACRE TRACT OF LAND CONVEYED TO THE CITY OF MESQUITE, AS RECORDED IN COUNTY CLERK'S FILE NO. 201800334776, OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS, A DISTANCE OF 1242.86 FEET TO THE WEST CORNER OF SAID 50 ACRE TRACT AND THE NORTH CORNER OF SAID 48.397 ACRE TRACT, SAID POINT BEING IN THE APPROXIMATE CENTER LINE OF MCKENZIE ROAD (A VARIABLE WIDTH RIGHT-OF-WAY);

EXHIBIT A - LEGAL DESCRIPTION

THENCE, NORTH 45 DEGREES 02 MINUTES 08 SECONDS EAST, ALONG THE NORTHWEST LINE OF SAID 50 ACRE TRACT AND THE SOUTHEAST LINE OF LOT 2, BLOCK 1 OF RALEIGH ESTATES, AN ADDITION TO THE CITY OF MESQUITE, AS RECORDED IN VOLUME 94065, PAGE 7930, MAP RECORDS, DALLAS COUNTY, TEXAS, A DISTANCE OF 1757.80 FEET TO THE NORTH CORNER OF SAID 50 ACRE TRACT, SAID POINT BEING ON THE SOUTHWEST LINE OF AFORESAID "TRACT 9";

THENCE, NORTH 45 DEGREES 06 MINUTES 33 SECONDS WEST, ALONG SOUTHWEST LINES OF SAID "TRACT 9", AFORESAID "TRACT 10" AND AFORESAID "TRACT 8", PASSING AT A DISTANCE OF 1947.95 FEET THE WEST CORNER OF SAID "TRACT 8", SAID POINT BEING ON THE SOUTHEAST RIGHT-OF-WAY LINE OF AFORESAID FAITHON P. LUCAS SR. BOULEVARD, CONTINUING OVER AND ACROSS SAID FAITHON P. LUCAS SR. BOULEVARD AND AFORESAID "TRACT 6", IN ALL A TOTAL DISTANCE OF 2029.43 FEET TO A POINT FOR CORNER;

THENCE, SOUTH 44 DEGREES 13 MINUTES 37 SECONDS WEST, CONTINUING OVER AND ACROSS SAID "TRACT 6" AND ALONG SAID NORTHWEST RIGHT-OF-WAY LINE OF FAITHON P. LUCAS SR. BOULEVARD, A DISTANCE OF 108.49 FEET TO THE SOUTH CORNER OF SAID "TRACT 6", SAID POINT BEING ON THE NORTHEAST LINE OF A TRACT OF LAND CONVEYED TO THE CITY OF MESQUITE, AS RECORDED IN VOLUME 94131, PAGE 491, OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS;

THENCE, NORTH 45 DEGREES 29 MINUTES 32 SECONDS WEST, ALONG THE SOUTHWEST LINE OF "TRACT 6" AND SAID NORTHEAST LINE OF CITY OF MESQUITE TRACT, A DISTANCE OF 2326.02 FEET TO A POINT FOR CORNER ON THE SOUTHEAST LINE OF AFORESAID "TRACT 5";

THENCE, SOUTH 44 DEGREES 57 MINUTES 59 SECONDS WEST, ALONG SAID SOUTHEAST LINE OF "TRACT 5", A DISTANCE OF 87.32 FEET TO THE EAST CORNER OF THE HILLS AT TEALWOOD, PHASE I, AN ADDITION TO THE CITY OF MESQUITE, AS RECORDED IN VOLUME 2003168, PAGE 94, MAP RECORDS, DALLAS COUNTY, TEXAS;

THENCE, OVER AND ACROSS SAID "TRACT 5" AND ALONG THE NORTHEAST LINE OF SAID HILLS AT TEALWOOD, PHASE I, THE FOLLOWING COURSES AND DISTANCES:

NORTH 67 DEGREES 58 MINUTES 24 SECONDS WEST, A DISTANCE OF 404.99 FEET TO A POINT FOR CORNER;

NORTH 34 DEGREES 47 MINUTES 42 SECONDS WEST, A DISTANCE OF 310.64 FEET TO A POINT FOR CORNER;

SOUTH 88 DEGREES 34 MINUTES 17 SECONDS WEST, A DISTANCE OF 1055.19 FEET TO A POINT FOR CORNER;

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NORTH 67 DEGREES 58 MINUTES 24 SECONDS WEST, A DISTANCE OF 400.00 FEET TO A POINT FOR CORNER;

NORTH 52 DEGREES 54 MINUTES 18 SECONDS WEST, A DISTANCE OF 807.77 FEET TO A POINT FOR CORNER;

NORTH 30 DEGREES 44 MINUTES 19 SECONDS WEST, A DISTANCE OF 381.66 FEET TO A NORTHWEST CORNER OF SAID HILLS AT TEALWOOD, PHASE I, SAID POINT BEING ON THE SOUTHEAST LINE OF A CALLED 88.069 ACRE TRACT OF LAND CONVEYED TO THE CITY OF MESQUITE, AS RECORDED IN VOLUME 90185, PAGE 2032, OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS;

THENCE, NORTH 44 DEGREES 48 MINUTES 33 SECONDS EAST, OVER AND ACROSS SAID "TRACT 5", ALONG SAID SOUTHEAST LINE OF CITY OF MESQUITE TRACT AND ALONG THE SOUTHEAST LINE OF VALLEYCREEK ADDITION, PHASE TWO, AN ADDITION TO THE CITY OF MESQUITE, AS RECORDED IN VOLUME 86051, PAGE 3779, MAP RECORDS, DALLAS COUNTY, TEXAS, A DISTANCE OF 3684.59 FEET TO THE EAST CORNER OF SAID VALLEYCREEK ADDITION, PHASE TWO, SAID POINT ALSO BEING ON THE NORTHEAST LINE OF SAID "TRACT 5" AND THE SOUTHWEST LINE OF CEDARBROOK ESTATES, AN ADDITION TO THE CITY OF MESQUITE, AS RECORDED IN VOLUME 98228, PAGE 4, MAP RECORDS, DALLAS COUNTY, TEXAS;

THENCE, SOUTH 45 DEGREES 31 MINUTES 27 SECONDS EAST, ALONG SAID NORTHEAST LINE OF "TRACT 5" AND SAID SOUTHWEST LINE OF CEDARBROOK ESTATES, A DISTANCE OF 545.40 FEET TO AN EAST CORNER OF SAID "TRACT 5" AND THE SOUTH CORNER OF SAID CEDARBROOK ESTATES, SAID POINT BEING ON THE NORTHWEST LINE OF AFORESAID "TRACT 11";

THENCE, NORTH 44 DEGREES 49 MINUTES 26 SECONDS EAST, ALONG SAID NORTHWEST LINE OF "TRACT 11" AND THE SOUTHEAST LINE OF SAID CEDARBROOK ESTATES, A DISTANCE OF 34.66 FEET TO A NORTHWEST CORNER OF BONNIE LUCILLE GENTRY ELEMENTARY SCHOOL ADDITION, AN ADDITION TO THE CITY OF MESQUITE, AS RECORDED IN VOLUME 20033167, PAGE 146, MAP RECORDS, DALLAS COUNTY, TEXAS, SAID POINT BEING ON THE NORTHWEST LINE OF SAID "TRACT 11" AND THE SOUTHEAST LINE OF SAID CEDARBROOK ESTATES;

THENCE, OVER AND ACROSS SAID "TRACT 11" AND ALONG THE WEST LINE OF SAID BONNIE LUCILLE GENTRY ELEMENTARY SCHOOL ADDITION, THE FOLLOWING COURSES AND DISTANCES:

SOUTH 38 DEGREES 08 MINUTES 15 SECONDS EAST, A DISTANCE OF 69.48 FEET TO A POINT FOR CORNER;

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SOUTH 16 DEGREES 08 MINUTES 19 SECONDS WEST, A DISTANCE OF 425.17 FEET TO A POINT FOR CORNER;

SOUTH 19 DEGREES 03 MINUTES 52 SECONDS WEST, A DISTANCE OF 371.64 FEET TO A POINT FOR CORNER;

SOUTH 70 DEGREES 20 MINUTES 29 SECONDS EAST, A DISTANCE OF 1004.43 FEET TO A POINT FOR CORNER ON THE NORTHWEST RIGHT-OF-WAY LINE OF TWIN OAKS DRIVE (A VARIABLE WIDTH RIGHT-OF-WAY) AND THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 08 DEGREES 56 MINUTES 52 SECONDS, A RADIUS OF 560.00 FEET AND A LONG CHORD THAT BEARS NORTH 13 DEGREES 36 MINUTES 21 SECONDS WEST, A DISTANCE OF 87.37 FEET;

THENCE, CONTINUING OVER AND ACROSS SAID "TRACT 11" AND SAID BONNIE LUCILLE GENTRY ELEMENTARY SCHOOL ADDITION, THE FOLLOWING COURSES AND DISTANCES:

ALONG SAID NON-TANGENT CURVE TO THE LEFT, AN ARC DISTANCE OF 87.45 FEET TO A POINT FOR CORNER;

NORTH 18 DEGREES 04 MINUTES 47 SECONDS WEST, A DISTANCE OF 119.36 FEET TO A POINT FOR CORNER AND THE BEGINNING OF A TANGENT CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 52 DEGREES 27 MINUTES 28 SECONDS, A RADIUS OF 640.00 FEET AND A LONG CHORD THAT BEARS NORTH 08 DEGREES 08 MINUTES 57 SECONDS EAST, A DISTANCE OF 565.71 FEET;

ALONG SAID TANGENT CURVE TO THE RIGHT, AN ARC DISTANCE OF 585.96 FEET TO A POINT FOR CORNER ON THE EAST LINE OF SAID BONNIE LUCILLE GENTRY ELEMENTARY SCHOOL ADDITION AND THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 21 DEGREES 14 MINUTES 54 SECONDS, A RADIUS OF 225.00 FEET, AND A LONG CHORD THAT BEARS NORTH 66 DEGREES 33 MINUTES 45 SECONDS WEST, A DISTANCE OF 82.96 FEET;

THENCE, CONTINUING OVER AND ACROSS SAID "TRACT 11" AND ALONG THE NORTHEAST LINE OF SAID BONNIE LUCILLE GENTRY ELEMENTARY SCHOOL ADDITION, THE FOLLOWING COURSES AND DISTANCES:

ALONG SAID NON-TANGENT CURVE TO THE LEFT, AN ARC DISTANCE OF 83.44 FEET TO A POINT FOR CORNER;

NORTH 77 DEGREES 11 MINUTES 12 SECONDS WEST, A DISTANCE OF 34.92 FEET TO A POINT FOR CORNER AND THE BEGINNING OF A TANGENT CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 55 DEGREES 43 MINUTES 56 SECONDS, A RADIUS OF 275.00 FEET AND A

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LONG CHORD THAT BEARS NORTH 49 DEGREES 19 MINUTES 14 SECONDS WEST, A DISTANCE OF 257.07 FEET;

ALONG SAID TANGENT CURVE TO THE RIGHT, AN ARC DISTANCE OF 267.50 FEET TO A POINT FOR CORNER;

NORTH 21 DEGREES 27 MINUTES 16 SECONDS WEST, A DISTANCE OF 217.03 FEET TO A POINT FOR CORNER AND THE BEGINNING OF A TANGENT CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 23 DEGREES 43 MINUTES 19 SECONDS, A RADIUS OF 225.00 FEET AND A LONG CHORD THAT BEARS NORTH 33 DEGREES 18 MINUTES 55 SECONDS WEST, A DISTANCE OF 92.49 FEET;

ALONG SAID TANGENT CURVE TO THE LEFT, AN ARC DISTANCE OF 93.16 FEET TO A POINT FOR CORNER;

NORTH 45 DEGREES 10 MINUTES 34 SECONDS WEST, A DISTANCE OF 172.59 FEET TO THE NORTH CORNER OF SAID BONNIE LUCILLE GENTRY ELEMENTARY SCHOOL ADDITION, SAID POINT BEING ON THE NORTHWEST LINE OF SAID "TRACT 11" AND THE SOUTHEAST LINE OF AFORESAID CEDARBROOK ESTATES;

THENCE, NORTH 44 DEGREES 49 MINUTES 26 SECONDS EAST, A DISTANCE OF 1286.05 FEET TO THE NORTH CORNER OF SAID "TRACT 11" AND THE EAST CORNER OF SAID CEDARBROOK ESTATES, SAID POINT BEING ON THE SOUTHWEST RIGHT-OF-WAY LINE OF EAST CARTWRIGHT ROAD (A VARIABLE WIDTH RIGHT-OF-WAY);

THENCE, NORTH 46 DEGREES 02 MINUTES 28 SECONDS WEST, ALONG SAID SOUTHWEST RIGHT-OF-WAY LINE OF EAST CARTWRIGHT ROAD, A DISTANCE OF 1099.27 FEET TO A POINT FOR CORNER;

THENCE, NORTH 11 DEGREES 30 MINUTES 20 SECONDS EAST, OVER AND ACROSS SAID EAST CARTWRIGHT ROAD, PASSING AT A DISTANCE OF 142.21 FEET THE SOUTH CORNER OF LOT 1, BLOCK A OF DIVINE MERCY ADDITION, AN ADDITION TO THE CITY OF MESQUITE, AS RECORDED IN COUNTY CLERK'S FILE NO. 20070019482, MAP RECORDS, DALLAS COUNTY, TEXAS, CONTINUING OVER AND ACROSS AFORESAID 119.95 ACRE TRACT AND ALONG THE SOUTHEAST LINE OF SAID LOT 1, BLOCK A, IN ALL A TOTAL DISTANCE OF 519.53 FEET TO A POINT FOR CORNER;

THENCE, NORTH 26 DEGREES 06 MINUTES 30 SECONDS EAST, CONTINUING OVER AND ACROSS SAID 119.95 ACRE TRACT AND ALONG THE SOUTHEAST LINE OF SAID LOT 1, BLOCK A, A DISTANCE OF 754.65 FEET TO THE EAST CORNER OF SAID LOT 1, BLOCK A, SAID POINT BEING ON THE NORTHEAST LINE OF SAID 119.95 ACRE TRACT AND THE SOUTHWEST RIGHT-OF-WAY LINE OF MESQUITE VALLEY ROAD (A VARIABLE WIDTH RIGHT-OF-WAY);

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THENCE, ALONG THE NORTHEAST LINE OF SAID 119.95 ACRE TRACT AND THE SAID SOUTHWEST RIGHT-OF-WAY LINE OF MESQUITE VALLEY ROAD, THE FOLLOWING COURSES AND DISTANCES:

SOUTH 45 DEGREES 56 MINUTES 29 SECONDS EAST, A DISTANCE OF 908.03 FEET TO A POINT FOR CORNER AND THE BEGINNING OF A TANGENT CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 42 DEGREES 01 MINUTES 25 SECONDS, A RADIUS OF 241.04 FEET AND A LONG CHORD THAT BEARS SOUTH 66 DEGREES 57 MINUTES 12 SECONDS EAST, A DISTANCE OF 172.85 FEET;

ALONG SAID TANGENT CURVE TO THE LEFT, AN ARC DISTANCE OF 176.79 FEET TO A POINT FOR CORNER;

THENCE, SOUTH 45 DEGREES 49 MINUTES 44 SECONDS EAST, CONTINUING ALONG SAID NORTHEAST LINE OF 119.95 ACRE TRACT, THE SOUTHWEST LINE OF CANTARA COVE ADDITION, PHASE II, AN ADDITION TO THE CITY OF MESQUITE, AS RECORDED IN VOLUME 2000-036, PAGE 2908, MAP RECORDS, DALLAS COUNTY, TEXAS AND THE SOUTHWEST LINE OF CANTARA COVE ADDITION, PHASE I, AN ADDITION TO THE CITY OF MESQUITE, AS RECORDED IN VOLUME 99211, PAGE 2763, MAP RECORDS, DALLAS COUNTY, TEXAS, OVER AND ACROSS AFORESAID 2.694 ACRE TRACT AND AFORESAID "TRACT 7", A DISTANCE OF 3014.74 FEET TO A POINT FOR CORNER ON THE NORTH RIGHT-OF-WAY LINE OF AFORESAID EAST CARTWRIGHT ROAD;

THENCE, NORTH 77 DEGREES 53 MINUTES 26 SECONDS EAST, OVER AND ACROSS SAID "TRACT 7" AND ALONG SAID NORTH RIGHT-OF-WAY LINE OF EAST CARTWRIGHT ROAD, A DISTANCE OF 193.18 FEET TO A POINT FOR CORNER AT THE SOUTH END OF A CORNER CLIP AT THE INTERSECTION OF SAID NORTH RIGHT-OF-WAY LINE OF EAST CARTWRIGHT ROAD AND THE SOUTHEAST RIGHT-OF-WAY LINE OF BEAR DRIVE (A VARIABLE WIDTH RIGHT-OF-WAY);

THENCE, NORTH 57 DEGREES 06 MINUTES 34 SECONDS WEST, CONTINUING OVER AND ACROSS SAID "TRACT 7" AND SAID CORNER CLIP, A DISTANCE OF 42.43 FEET TO A POINT FOR CORNER AND THE BEGINNING OF A NON-TANGENT CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 59 DEGREES 50 MINUTES 26 SECONDS, A RADIUS OF 168.16 FEET AND A LONG CHORD THAT BEARS NORTH 14 DEGREES 28 MINUTES 28 SECONDS EAST, A DISTANCE OF 167.76 FEET;

THENCE, CONTINUING OVER AND ACROSS SAID "TRACT 7" AND ALONG SAID SOUTHEAST RIGHT-OF-WAY LINE OF BEAR DRIVE, THE FOLLOWING COURSES AND DISTANCES:

ALONG SAID NON-TANGENT CURVE TO THE RIGHT, AN ARC DISTANCE OF 175.63 FEET TO A POINT FOR CORNER;

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NORTH 45 DEGREES 30 MINUTES 29 SECONDS WEST, A DISTANCE OF 1.85 FEET TO A NORTH CORNER OF A CALLED 6.647 ACRE TRACT OF LAND CONVEYED TO THE CITY OF MESQUITE, AS RECORDED IN COUNTY CLERK'S FILE NO. 200305302992, OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS, SAID POINT BEING ON THE NORTHWEST LINE OF SAID "TRACT 7" AND SAID SOUTHEAST RIGHT-OF-WAY LINE OF BEAR DRIVE;

THENCE, NORTH 44 DEGREES 28 MINUTES 28 SECONDS EAST, ALONG SAID NORTHWEST LINE OF "TRACT 7", THE NORTHWEST LINE OF AFORESAID 2.06 ACRE TRACT AND SAID SOUTHEAST RIGHT-OF-WAY LINE OF BEAR DRIVE, A DISTANCE OF 579.38 FEET TO THE NORTH CORNER OF SAID 2.06 ACRE TRACT;

THENCE, SOUTH 45 DEGREES 32 MINUTES 20 SECONDS EAST, ALONG THE NORTHEAST LINE OF SAID 2.06 ACRE TRACT, THE NORTHEAST LINE OF SAID "TRACT 7" AND THE SOUTHWEST RIGHT-OF-WAY LINE OF SAID BEAR DRIVE, A DISTANCE OF 1252.87 FEET TO A POINT FOR CORNER IN AFORESAID EAST CARTWRIGHT ROAD;

THENCE, SOUTH 44 DEGREES 49 MINUTES 02 SECONDS WEST, PASSING AT A DISTANCE OF 48.23 FEET THE NORTH CORNER OF A CALLED 25.131 ACRE TRACT OF LAND CONVEYED TO WAL-MART REAL ESTATE BUSINESS TRUST, AS RECORDED IN COUNTY CLERK'S FILE NO. 201500177457, OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS, CONTINUING OVER AND ACROSS SAID "TRACT 7" AND ALONG THE NORTHWEST LINE OF SAID 25.131 ACRE TRACT, A TOTAL DISTANCE OF 1057.41 FEET TO A POINT FOR CORNER AND THE BEGINNING OF A TANGENT CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 90 DEGREES 00 MINUTES 00 SECONDS, A RADIUS OF 40.00 FEET AND A LONG CHORD THAT BEARS SOUTH 00 DEGREES 10 MINUTES 58 SECONDS EAST, A DISTANCE OF 56.57 FEET;

THENCE, ALONG SAID TANGENT CURVE TO THE LEFT, CONTINUING OVER AND ACROSS SAID "TRACT 7" AND ALONG SAID NORTHWEST LINE OF 25.131 ACRE TRACT, AN ARC DISTANCE OF 62.83 FEET TO A POINT FOR CORNER;

THENCE, SOUTH 45 DEGREES 10 MINUTES 58 SECONDS EAST, CONTINUING ALONG SAID NORTHWEST LINE OF 25.131 ACRE TRACT AND OVER AND ACROSS AFORESAID "TRACT 6", A DISTANCE OF 1044.83 FEET TO A POINT FOR CORNER IN THE APPROXIMATE CENTER LINE OF AFORESAID FAITHON P. LUCAS SR. BOULEVARD;

THENCE, SOUTH 44 DEGREES 19 MINUTES 48 SECONDS WEST, CONTINUING OVER AND ACROSS SAID "TRACT 6" AND WITH SAID APPROXIMATE CENTER LINE OF FAITHON P. LUCAS SR. BOULEVARD, A DISTANCE OF 268.94 FEET TO THE **POINT OF BEGINNING** AND CONTAINING A CALCULATED AREA OF 1424.398 ACRES, OR 62,046,765 SQUARE FEET OF LAND.

Exhibit B
Planned Development District Development Regulations

1. **Definitions.**

- a. Accessory dwelling unit means an accessory secondary living unit for SF-D3 or SF-D4 homes pursuant to Section 3(c)(iii) below.
- b. Alley means a publicly or privately owned access way that provides access to the rear of a lot and functions as a traditional alley.
- c. Concept Plan means the concept plan attached as **Exhibit C**.
- d. Front entry garage means a garage accessed from the street in front of a single family home or duplex. This term does not include side entry or j-swing garages.
- e. Open space means generally undeveloped property that can be used for active or passive recreation, is publicly or privately owned and maintained, is accessible by the residents of the Property or by the general public, and is designated as open space on an approved final plat. All landscape buffers will be treated as open space.
- f. Parks, Open Space, and Trail Plan means the plan attached as **Exhibit D**.
- g. PD Ordinance means the planned development zoning ordinance for the Property adopted on October 5, 2020 as Ordinance No. _____.
- h. Phase 1 Concept Plan means the conceptual plan for phase one of the development attached as **Exhibit C-1**.
- i. Property means the property described on **Exhibit A** of this PD Ordinance.
- j. Single family attached (townhome) means a single family dwelling on a separate lot that fronts on a street, a place, a court, or a private access easement, and that is attached to one or more single family dwellings by either a common wall or another structure that causes the attached dwellings to constitute an architectural whole or appear on the exterior to be a single building.
- k. Zoning Ordinance means the Mesquite Comprehensive Zoning Ordinance in effect on the date of the adoption of this PD Ordinance, as amended.

2. **Applicable Regulations; Amendments.**

- a. The base zoning district for areas shown on the Concept Plan for all residential uses shall be R Single Family. The base zoning district for areas shown on the Concept Plan for non-residential (i.e., the area identified as the "Center" on the Concept Plan) uses shall be GR General Retail. Section 2-502 of the Zoning Ordinance shall not apply to townhomes (single family attached).
- b. Property Owner Consent for PD Amendments. PD amendments are authorized for all or a portion of the land governed by this PD. With the exception of PD amendments initiated by the City, all requests to amend this PD shall only be

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accompanied by the written consent of the owners of the property that is the subject of the amendment request, to the extent permitted by law as determined by the City Attorney. A request to amend or an amendment to a portion of the Property shall apply only to the property subject of the amendment request, unless otherwise provided by law.

3. Permitted Uses.

- a. The following uses shall be permitted in the areas designated Residential, as shown in **Exhibit C.**
 - i. Single Family Detached (SF-D1, SF-D2, SF-D3, SF-D4)
 - A. Conventional Dwellings
 - B. Zero Lot Line Dwellings
 - C. Patio Homes
 - ii. Single Family Attached (SF-A)
 - A. Duplex Two-family Dwellings
 - B. Townhouse Dwellings
 - C. Other Attached Dwellings (3-plex, 4-plex)
 - iii. Accessory Uses and Structures.
 - A. Accessory Structures (Private) (Including but not limited to buildings, garages, patio covers, decks, carports, fences, signs, swimming pools, spas, antenna, satellite dishes, game courts, flagpoles).
 - B. Accessory Dwelling Unit as defined in this PD
 - C. Home Occupations
 - D. Leasing Office
 - iv. Non-Residential Uses
 - A. Amenity Center¹
 - B. Agricultural uses, including, but not limited to, raising crops and livestock, livestock services (including horses), and landscape/horticulture services. Agricultural uses are permitted at any location within the Property, including within open space areas; however, livestock uses are limited to open space and Heritage Park shown on the Parks, Open Space, and Trail Plan.
 - v. Temporary Residential Sales Office and Model Homes. A residential real estate sales office, located on a platted lot, may be permitted within a subdivision for which building permits have been issued and may be located either in a model home, in a temporary building, or in a portable trailer. Model homes are permitted within a subdivision for which building permits have been issued. A permit for a temporary residential sales office or a model home may be issued for no more than one year, but may be extended if the builder maintains active

¹ An amenity center shall follow the same requirements for a non-residential development in the GR Zoning District with regard to parking and landscaping. Screening for non-residential uses permitted in residential districts shall apply per Section 1A-303A.4 of the Zoning Ordinance. The developer may designate which amenities in the amenity center area of the Concept Plan are private versus open to the public.

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and continuous sales or construction activities within the subdivision and a minimum of five lots in the subdivision remain unsold. Such sales office shall be used for sales in the subject subdivision only and not for sales in any other subdivision.

- b. All uses permitted in the GR, General Retail District are allowed in the areas designated as "Center" as shown in Exhibit C except as modified in paragraphs "i" and "ii" of this subsection. The uses permitted in the GR District are subject to the same requirements applicable to the uses in the GR District, as set out in the Zoning Ordinance. For example, a use permitted in the GR District only by conditional use permit ("CUP") is permitted in this district only by CUP.

- i. The following uses are prohibited:

SIC Code 533	Variety Stores
SIC Code 5993	Tobacco Stores
SIC Code 5947	Gift, Novelty, Souvenir Shops
SIC Code 753	Automobile Repair Shops
SIC Code 7549	Automotive Diagnostic, Inspection

- ii. The following uses are permitted by right:

SIC 074c	Outdoor services to household pets (including any service with outdoor kennels or activity)
SIC Code 549	Indoor and Outdoor Farmers Market ²
SIC Code 5812	Eating Places (excluding drive-in restaurants, drinking place with private club, and private club in conjunction with a full-service hotel)
SIC Code 5812	Restaurant holding a Food & Beverage Certificate with Private Club

Beer and wine sales in connection with a retail use.

- c. Accessory uses including, but not limited to, the following accessory uses are permitted:

- i. Accessory private community center is permitted as an accessory use to an amenity center. An accessory private community center may include a restaurant open to members and their guests and may include a banquet

² An indoor or outdoor farmers market is permitted within the area labeled the "Center" on the Concept Plan or within Heritage Park. This use may include the following types of retail sales: the sale of fruit, vegetables or other produce; the sale of herbs, spices, seeds, or nuts; the sale of meat, fish, eggs, dairy products, honey, or other animal products; the sale of baked goods; the sale of any other food or beverage products; the sale of farm product raw materials; the sale of flowers, plants or nursery stock, or florist supplies; the sale of gifts; the sale of books, used or new; the sale of art, crafts, or similar handmade or homemade goods; and the sale of antiques or collectibles; and the sale of other similar products commonly sold in a farmers market by a collection of individual vendors.

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facility that may be rented for special occasions, such as wedding receptions and parties.

- ii. Accessory short-term rentals are permitted as an accessory use to an amenity center in the area labeled as the "Center" on the Concept Plan. Short term rentals are not required to be attached to, or located on the same lot as, the amenity center, and may be developed in a separate phase following development of an amenity center. A short-term rental is defined as a lodging use that offers a rental for less than 30 consecutive days to any individual, and which may include a maximum of 750 square feet in floor area and a maximum of two bedrooms and bathrooms, a living room, a kitchenette, and a washer and dryer. Units may be attached or detached. A maximum of 20 units may be rented as part of an accessory short-term rental use in connection with an amenity center. The purpose of this accessory use is to provide short term rentals for family members and guests of residents within the PD. The short-term rental units must be on a lot that is located within 300 feet of the amenity center lot. A minimum of 1.5 parking spaces shall be provided for each short-term rental unit; however, a short-term rental use may share parking with the amenity center (meaning the amenity center parking spaces may be used to satisfy short-term rental unit parking requirements), and on-street parking may be counted to satisfy parking requirements for short-term rentals and the amenity center. Accessory short-term rentals are not subject to the city's hotel registration requirements.
 - iii. For SF-D3 and SF-D4 homes, an attached accessory secondary living unit, not to exceed 750 square feet in floor area, may be located on the same lot as the principal use. An accessory secondary living unit is limited to having a maximum of two bedrooms and one bathroom, a living room, a kitchenette, and a washer and dryer. The occupants shall be part of the same family that occupies the principal use or shall be a caregiver for one or more family members that occupy the principal use. Accessory secondary living units shall not be rented as separate living units. For purposes of this provision, a family is defined as individuals living together as a single housekeeping unit, including cooking together, in which not more than four individuals are unrelated by blood, marriage, or adoption. Family shall not include groups of individuals which do not function as or constitute housekeeping units, such as boarding/ lodging houses, fraternity/sorority houses, and similar living arrangements. One additional off-street parking space shall be provided. A separate meter is permitted, but not required, for the accessory secondary living units.
 - iv. Accessory child day care services are permitted as an accessory use to a residential use.
- d. A Single Family Rental use is a for-rent single family use, with multiple detached single family dwelling units permitted on the same platted lot at any location within the Property subject to the restrictions in (i) through (ix) below.

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- i. More than one dwelling may be permitted on a single platted lot as a Single Family Rentals use.
 - ii. A maximum of two tracts of land, which may or may not be contiguous to each other, may be developed under the Single Family Rentals standards in this subsection (d). Each such tract shall be a maximum of 12 acres. Multiple platted lots may be developed within each such tract under these standards.
 - iii. The maximum density for a Single Family Rentals use shall be 12 units per gross acre.
 - iv. Single Family Rentals residences shall meet the standards for single-family detached homes (SF-D products on **Exhibit E**) except as noted in this subsection (d). The anti-repetition requirements on **Exhibit G** do not apply to Single Family Rentals.
 - v. The minimum building setback from any property line (e.g., the platted lot line) shall be 20 feet.
 - vi. The minimum building separation shall be seven feet.
 - vii. The minimum living space shall be 600 square feet.
 - viii. The parking and garage requirements for single family detached homes shall not apply to Single Family Rentals residences. The following shall be the exclusive parking requirements for a Single Family Rentals use: A total of 1.75 off-street parking spaces shall be provided on the lot for each dwelling unit, which shall be rounded up to the nearest whole number based on the total number of dwelling units on a platted lot. A minimum of 50 percent of required parking spaces shall be covered spaces provided either in an enclosed garage or under a carport.
 - ix. This use shall be subject to the city's rental registration requirements for rental housing.
 - x. This subsection (d) controls in the event of a conflict with Section 4 below.
- e. Development of the Property shall be in general conformance with the Concept Plan attached as **Exhibit C**. The Phase 1 Concept Plan attached as **Exhibit C-1** is conceptual and subject to change, and has been provided for illustrative purposes only. The street network shown on the Concept Plan is conceptual and subject to change at the time of final design and platting. The owner may change the boundaries and area of any undeveloped areas on the original Concept Plan by up to a cumulative amount of 25 percent for each land use area. The area labeled as the "Center" on the Concept Plan may be developed with any use that is permitted by right in this PD, and the use of areas shown in the "Center" on the Concept Plan will be indicated on the plat(s) for the "Center." Any change to the Concept Plan must be submitted to the Director of

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Planning and Development to ensure compliance with this paragraph, and the amended Concept Plan will become a part of the permanent file maintained by the Director of Planning and Development for this PD.

- f. Planned Development (PD) Site Plan Approval. The PD site plan review and approval procedures shall follow the requirements in Section 4-200 of the Zoning Ordinance, as amended.

4. Development Standards. See Exhibit E, which contains the exclusive lot size, setback, lot coverage, density, garage orientation, building height, and dwelling unit size requirements for residential development. Exhibit F illustrates the residential product types described on Exhibit E. For non-residential development, the lot size, setback, lot coverage, and building height regulations of the GR, General Retail zoning district shall apply. The following requirements shall apply:

- a. Repetition of Elevations for Single Family Detached Uses and Duplexes. Single family detached homes and duplexes shall comply with the anti-repetition requirements on Exhibit G. At least 10 percent of an elevation must be different, or it will be considered to be a repeated elevation. These requirements do not apply to a Single Family Rentals use permitted under Section 3(d) of this PD.
- b. Single Family Attached Sound Attenuation. When single family attached uses share a common wall, the common wall shall have a minimum Sound Transmission Class (STC) rating of 60.
- c. Except as otherwise provided below in paragraphs (i) and (ii), chain link, barbed wire, pipe, vinyl, and razor wire fences are prohibited:
 - i. This restriction does not apply to temporary construction fencing, fencing around a lift station or other utility uses, barbed wire fencing around cattle or other agricultural uses. The Director of Planning and Development may permit these materials for limited use in other specific circumstances if the Director finds the use of these materials to be appropriate.
 - ii. Vinyl fencing and manufactured fencing materials are permitted on residential lots.
 - iii. Vinyl coated chain link fencing is permitted in connection with a dog park.
- d. Pedestrian Connectivity. When a blockface developed with non-residential uses exceeds 500 feet in length, pedestrian access through the block shall be provided. Such access may be provided through a pedestrian access easement, a business open to the public, or any other means that provides pedestrian access during regular business hours.
- e. Accessory Buildings. An accessory building shall comply with the standards in Section 2-600 of the Mesquite Zoning Ordinance.

EXHIBIT B - DEVELOPMENT REGULATIONS

- f. Enhancements on Corner Lots. Each corner lot with a single family detached home shall have landscape enhancements along the side street as follows: at least two minimum three-inch caliper trees shall be planted per lot within the parkway, and a minimum of one evergreen shrub that is a minimum of five gallons shall be planted every five feet on center along fence lines facing the side street. Trees shall not block stop signs and shall not be planted within 35 feet of a street intersection. When trees are planted within the parkway, there shall be a minimum of five feet between the curb and sidewalk.
 - g. Each single family detached home shall be serviced by a central cluster mailbox located at a street intersection as approved by the US Postal Service.
 - h. All streets shall have upgraded street lights that shall be architecturally compatible with the overall theme of the PD.
5. Use of Right-of-Way. For improvements in the right-of-way, a permit must be obtained pursuant to Section 15-195 of the city code. The master developer and Homeowners Association may use the public right of way within the Property boundaries for the exclusive purpose of constructing, operating, repairing and maintaining the following improvements and any improvements reasonably related thereto or necessary for the operation thereof: street and pedestrian lighting, public seating areas, landscaping and related amenities, including fountains, monuments, statues, or other public artwork, street furniture, including benches, drinking fountains, trash containers, tunnels; security cameras, bollards, temporary construction barricades, underground duct banks, pedestrian bridges and overpasses, arches, string lighting or other decorative lighting, and wiring. The Director of Public Works may authorize additional items (other than those enumerated in this paragraph) to be included in the right-of-way if such items do not interfere with the public use of the right of way. The removal of improvements for maintenance and replacement of utilities, pavement, drainage structures, and sidewalks shall be at the permit holder's expense.
6. Garage Standards and Parking. The following requirements apply to single family homes:
- a. The front most portion of a front entry garage shall not extend more than three feet in front of the front facade or the front porch of a single family detached home or duplex.
 - b. All garage doors must be a minimum of 20 feet from the edge of the right-of-way.
 - c. Each single family detached home shall have a minimum of two enclosed garage parking spaces. Each single family attached home and duplex dwelling unit shall have a minimum of one enclosed garage parking space and one additional parking space. All residences shall have at least two parking spaces located behind the building line.
 - d. Required visitor parking for rear entry townhomes may be provided on-street.
 - e. Visitor parking for paseo homes and cluster homes is permitted, but not required.
 - f. Front entry garage doors shall be recessed a minimum of six inches into the building facade in which they are located.

- g. Minimum parking requirements for a paseo home may be satisfied by one enclosed parking space and one unenclosed parking space.

7. Landscaping and Screening.

- a. Tree plantings within parkways and medians, as well as in easements, shall follow the approved planting list located in the Engineering Design Manual or a species specifically permitted herein, and may not be planted directly above utilities.
- b. No single tree species shall constitute more than 25 percent of the trees located in parkways and medians.
- c. Shade trees are permitted in medians that are 10 feet or greater in width.
- d. Trees are not required to be planted a minimum of five feet from the back of curb.
- e. Berms, shrubs, trees, and groundcover are permitted in medians.
- f. Required shade trees may include sycamores, elms, ash, cottonwood (seedless), red cedars, and water oaks, whether located in the parkway, in medians, or on private property.
- g. Required ornamental trees may include Deciduous Holly and Dogwood, whether located in the parkway, in medians, or on private property.
- h. Required shrubs may include Loropetalum, and Abelia Sherwoodii.
- i. Required groundcover may include Prostrate Rosemary and Bar Harbor Juniper, as well as artificial turf.
- j. Drought tolerant species of trees, shrubs, and groundcover that are not on the approved planting list located in the Engineering Design Manual may be approved by the Director of Planning and Development for use in the parkway or medians and on private property.
- k. No screening shall be required between different types of land uses that are located internal to the PD provided that a parking screen is installed pursuant to Section 1A-301.B.3 of the Zoning Ordinance when a non-residential use is adjacent or across the street from the front of a residential use.
- l. No landscaped buffer is required along an arterial or a collector street, but screening along arterial roadways is required in accordance with the screening requirements of the Zoning Ordinance. In the alternative, screening for arterial roadways may be provided in the form of (i) a concrete panel wall meeting the requirements in the Engineering Design Manual, or (ii) an ornamental metal fence with living screening in accordance with Section 1A-305A of the Zoning Ordinance, including masonry columns every 35 feet. Screening along collector streets is required in the form of a minimum six-foot tall board on board fence with the finished side facing the street, which shall be constructed by the home builder and shall have consistent materials and a consistent design along all collector streets.

EXHIBIT B - DEVELOPMENT REGULATIONS

- m. A minimum of one three-inch caliper ornamental or canopy tree, or three eight-foot tall ornamental trees, shall be planted for every 50 linear feet of street frontage or fraction thereof along perimeter arterial and collector streets in the parkway. Trees may be planted in clusters to create a natural appearance along perimeter arterial and collector streets.
 - n. A minimum of one three-inch caliper ornamental or canopy tree shall be planted on each residential lot or in the adjacent parkway, except that on each residential lot that is larger than 60 feet in width, a minimum of two three-inch caliper ornamental or canopy trees shall be planted. If insufficient space is available on a townhome lot or the adjacent parkway, the Director of Planning and Development may approve the tree to be located in a park or other public space within the same townhome phase of development.
8. Tree Preservation. Trees shown within the preservation area on the tree preservation plan attached as **Exhibit H** shall be required to be preserved, which shall satisfy all tree preservation and mitigation requirements for the property in this PD.
9. Parks and Open Space.
- a. Parks and open space areas shall be designated on approved plats and shall generally comply with the Parks, Open Space, and Trail Plan attached as **Exhibit D**.
 - b. A minimum of 40 percent of the property in this PD shall be preserved as open space as shown on the Parks, Open Space, and Trail Plan. Separate open space requirements in the zoning ordinance, such as those based on land use, shall not apply.
 - c. Trails will be constructed in phases with each plat. As each phase of the project is platted, any portion of a trail required within the platted phase shall be completed with the other improvements required as part of the plat approval, and if a gap in trail connections is less than 1,000 feet, the connection shall be constructed with the platted phase under construction (otherwise, the connection shall be constructed with the completion of the next phase adjacent to the gap).
 - d. Maintenance of parks, open space, and trails shall be in accordance with the Parks, Open Space, and Trail Plan, which indicates the party responsible for maintenance of each component of the plan, or as otherwise provided in a maintenance agreement between the developer or HOA and the city. Floodplain areas may be maintained, and may be used for crops and other agricultural uses, dog parks, and other similar uses. The floodplain shall be maintained by the owner of the lot or the HOA in the condition that is included in the approved floodplain model.
 - e. The following amenities are required to be started prior to the issuance of the Certificate of Occupancy or final inspection for the 100th single family attached or detached residence within the Property and completed within 36 months after the City's final acceptance of the first platted phase of the "Public Improvements" as defined in the Development Agreement between the developer and the City dated October 5, 2020:

EXHIBIT B - DEVELOPMENT REGULATIONS

- i. An amenity center with the following:
 - A. a minimum 9,000 square foot community building;
 - B. a minimum 1,200 square foot fishing building; and
 - C. a minimum 3,000 square foot indoor fitness facility;
 - ii. A pool complex with one junior Olympic-sized lap pool, one resort pool, one adult pool, and one tot pool with splash toys;
 - iii. A minimum of one playground;
 - iv. A covered community outdoor gathering space;
 - v. A minimum of one shade structure, two picnic tables, and two park benches for each active park (i.e., a park with playground equipment, sports field, or other similar facilities for activity);
 - vi. A minimum of two dog waste stations;
 - vii. Trash cans; and
 - viii. Park signage.
- f. The developer shall, at a minimum, construct the following amenities within open space by the time the Building Official approves the final inspection or the certificate of occupancy for the 200th dwelling unit within this planned development:
- i. A minimum of one play structure (such as climbers, hangers, slides or spinners);
 - ii. A minimum of two picnic tables and two park benches for each active park (i.e., a park with playground equipment, sports field, or other similar facilities for activity);
 - iii. A minimum of one dog waste station;
 - iv. Trash cans;
 - v. Park signage; and
 - vi. A minimum of one shade structure per park.
- g. Open space amenities not specifically listed above, but of a similar type and nature to those listed above, are permitted.
- h. Except as otherwise provided in this paragraph, every dwelling unit shall be located within 0.25 miles of a park or useable open space that includes a community trail system with a minimum width of six feet, as generally shown on the Parks, Open

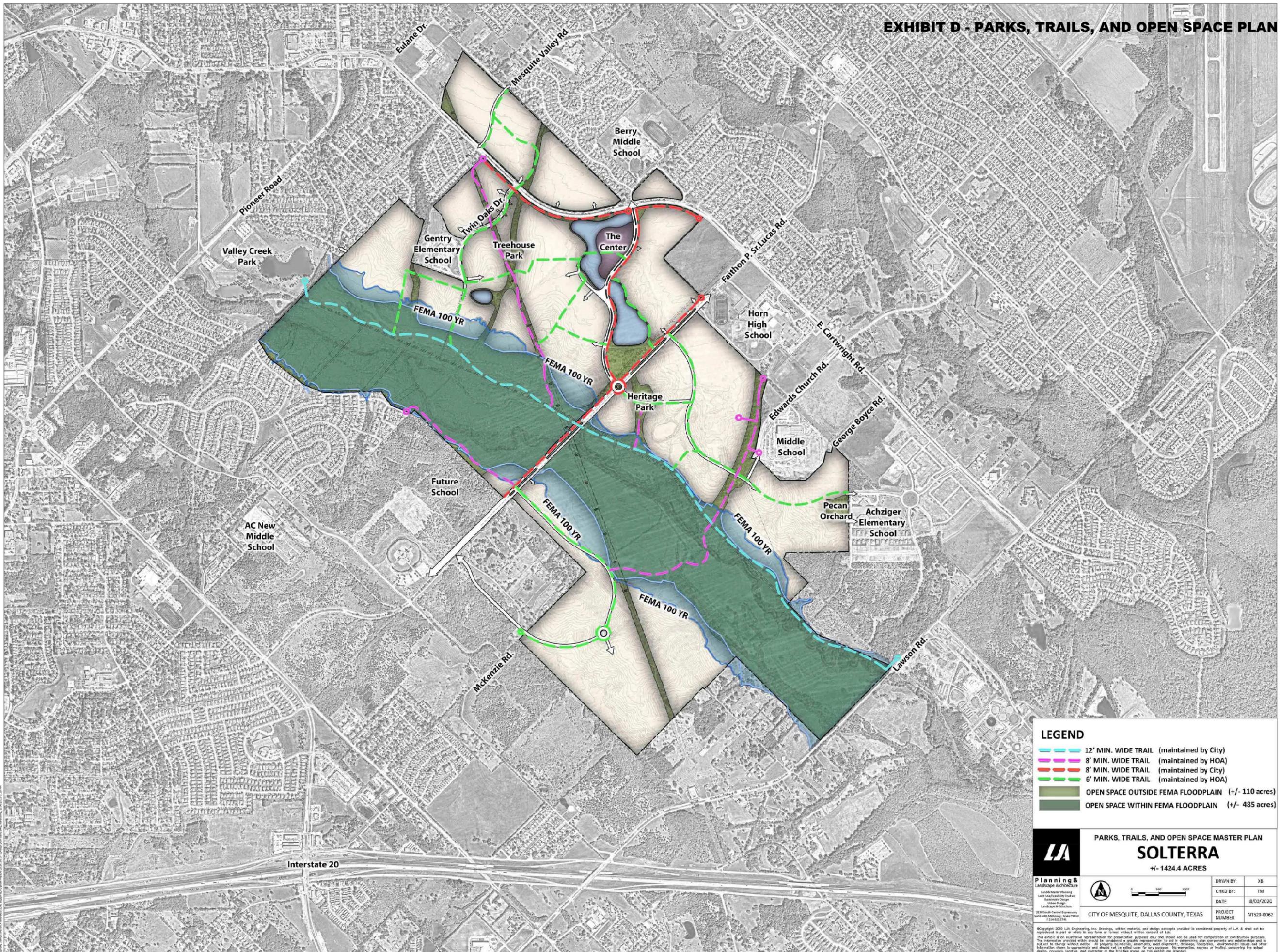
EXHIBIT B - DEVELOPMENT REGULATIONS

Space, and Trail Plan. For purposes of this paragraph, useable open space is any open space that can be used by residents and is improved with any of the following: outdoor seating, playground equipment, a dog park, a play structure, a picnic table, a park bench, a dog clean up station, or a trail. The Director of Planning and Development has authority to allow a phase of homes to be constructed without meeting the requirements in this paragraph provided the subsequent plat will include the park or useable open space, including a community trail system with a minimum width of six feet, as generally shown on the Parks, Open Space, and Trail Plan, necessary to serve the prior phase of homes.

- i. Trails shall be constructed of concrete and follow standards of the Engineering Design Manual.
 - j. Subject to all applicable laws and permit requirements, lakes may be recharged from rain collection and wells.
 - k. Open space areas shall be landscaped with one tree that is a minimum of three inches in caliper for every 35 feet of street frontage or fraction thereof. Trees may be planted in clusters to create a natural appearance. Where feasible, the developer shall transplant native trees from areas scheduled for developmental impact to open space areas and parks within the Property.
 - l. The requirements of this Section 9 are the exclusive requirements for parks and open space, and no other park land dedication, park fee, or park improvement requirements shall apply to the Property.
10. Street Sections. Non-standard street sections are permitted as shown on Exhibit I. Minimum median width may be ten feet.
11. Signage.
- a. Street signs shall be maintained by the developer or HOA until subdivision is accepted by the City or if damaged by construction activities. Additional sign equipment shall be provided to the City for immediate maintenance after acceptance.
 - b. Any alternative street signs shall be the standard color and have the standard text size required for city street signs. Alternative sign packages for private signs and street signs shall be reviewed and approved by city staff and must follow the Manual on Uniform Traffic Control Devices (MUTCD).
12. Miscellaneous.
- a. Front entry and rear entry (alley-served) residential types are permitted. Front entry garages for detached single family homes with a lot width of 49 feet or less are restricted to lots that back to a landscape buffer or other open space or a school site. Front entry garages are permitted without restriction for single family detached homes with a lot width greater than 49 feet and townhomes.

EXHIBIT B - DEVELOPMENT REGULATIONS

- b. A traffic impact study was submitted to the city and approved by the city in connection with the adoption of this Ordinance. No other traffic impact studies, or updates to the approved study, will be required.
- c. No vehicular connection shall be made from the Property to Milam Road.



- LEGEND**
- 12' MIN. WIDE TRAIL (maintained by City)
 - 8' MIN. WIDE TRAIL (maintained by HOA)
 - 8' MIN. WIDE TRAIL (maintained by City)
 - 6' MIN. WIDE TRAIL (maintained by HOA)
 - OPEN SPACE OUTSIDE FEMA FLOODPLAIN (+/- 110 acres)
 - OPEN SPACE WITHIN FEMA FLOODPLAIN (+/- 485 acres)

Planning & Landscape Architecture

Land & Master Planning
Landscape Architecture
Site & Urban Design
Landscape Architecture
2020 South Central Expressway
Suite 300, Addicks, Texas 75002
714.433.1244

PARKS, TRAILS, AND OPEN SPACE MASTER PLAN

SOLTERRA

+/- 1424.4 ACRES

DRWN BY: JTB

CHKD BY: TMI

DATE: 8/03/2020

PROJECT NUMBER: NTS20-0062

CITY OF MESQUITE, DALLAS COUNTY, TEXAS

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This exhibit is an illustrative representation for presentation purposes only and should not be used for construction or construction purposes. The information provided herein should be considered a graphic representation. It is not a contract. Site conditions may vary from those shown and the information shown is approximate and should not be relied upon for any purpose. No warranties, express or implied, concerning the actual design, quantity, location, and accuracy of the facilities shown on this exhibit are intended.

Exhibit E
Development Standards Table

Residential Type	Examples of Residential Type*	Minimum Lot Area (SF)	Minimum Lot Width (ft)	Minimum Lot Depth (ft)	Maximum Number of Stories	Garage Orientation	Max Density Based on Gross Acre	Minimum Front Yard Setback (ft)**	Minimum Interior Side Yard Setback (ft)	Minimum Corner Side Yard Setback (ft)	Minimum Rear Yard Setback (subject to Section 6(b) setbacks for garage door)	Maximum Lot Coverage (%)	Minimum Dwelling Unit Size (SF)	Special Conditions
SF-A	Single Family Attached (villa homesites)	1400	20	70	2	Alley	15	12	0	10	5	80	1100	Attached garage product
SF-A	Single Family Attached (villa homesites)	1600	20	80	2	Front	15	20	0	10	5	80	1100	Attached garage product
SF-A	Single Family Attached (villa homesites)	1600	20	80	2	Alley	15	12	0	10	5	80	1100	Detached garage product
SF-A	Single Family Attached (brownstones)	1040	16	65	2	Alley	22	12	0	10	5	80	1200	3-unit and 6-unit for illustrative purposes only
SF-A	Single Family Attached (brownstones/ work live)	960	16	60	3	Alley	22	12	0	10	5	80	850	
SF-A	Duplex Triplex 4-Plex	8000	80	100	2	Alley	12	5	5	10	5	80	800	
SF-D1	Single Family Detached (garden	1980	30	66	2	Alley	13	10	5	10	5	80	1000	Except for zero lot line types where 10' minimum

EXHIBIT E - DEVELOPMENT STANDARDS

	homesites) (cluster home)													side setback is required on one side and zero feet on the other
SF-D1	Single Family Detached (paseo homesites) (cluster home)	1980	30	66	2	Alley	13	10	5	10	5	80	1000	Except for zero lot line types where 10' minimum side setback is required on one side and zero feet on the other
SF-D1	Single Family Detached (cottage homesites) (cluster home)	3150	35	90	2	Alley	13	12	5	10	5	75	1000	Except for zero lot line types where 10' minimum side setback is required on one side and zero feet on the other
SF-D1	Single Family Detached (chalet homesites)	4000	40	100	2	Side	6	12	5	10	5	75	1200	Except for zero lot line types where 10' minimum side setback is required on one side and zero feet on the other
SF-D1	Single Family Detached (chalet homesites)	4000	40*	100	2	Front	6	20	5	10	5	75	1200	Except for zero lot line types where 10' minimum side setback is required on one side and zero feet on the other. *Product type only allowed when rear yard is adjacent to open space.
SF-D1	Single Family Detached (chalet homesites)	4000	40*	100	2	Alley	6	12	5	10	5	75	1200	Except for zero lot line types where 10' minimum side setback is required on one side and zero feet on the other. * Product type only allowed when rear yard is adjacent to open space.
SF-D1	Single Family Detached (courtyard homesites)	4000	50	80	2	Alley	10	10	5	10	5	80	1400	Except for zero lot line types where 10' minimum side setback is required on one side and zero feet on the other

EXHIBIT E - DEVELOPMENT STANDARDS

SF-D2	Single Family Detached (executive homesites side drive: attached/detached garage)	5000	50	100	2	Side/ Alley	5	12	5	10	5	75	1400	Except for zero lot line types where 10' minimum side setback is required on one side and zero feet on the other
SF-D2	Single Family Detached (executive homesites front loaded)	5000	50	100	2	Front	5	20	5	10	5	75	1400	Except for zero lot line types where 10' minimum side setback is required on one side and zero feet on the other
SF-D3	Single Family Detached (manor homesites)	6000	60	100	2	All	4	12	5	10	5	75	1800	Front minimum garage setback is 20'
SF-D4	Single Family Detached (chateau homesites)	7000	70	100	2	All	3.5	12	5	10	5	75	2000	Front minimum garage setback is 20'

*Exhibit E includes drawings illustrating each residential type for illustrative purposes only. Homes are not required to be designed as illustrated.

**The minimum front yard setback for all rear entry homes shall be 12 feet, except that a minimum ten-foot front yard setback is permitted on a rear entry paseo, courtyard or garden homesite that fronts on open space.

Notes:

All garage doors must be a minimum of 20 feet from the edge of the right-of-way.

When the rear yard of a front entry single family residential lot is contiguous to the lot line of a developed single family residential lot located outside the PD boundaries, a minimum rear yard building setback of 20 feet shall be required.

A maximum of 3,900 residential lots is permitted within the boundaries of this PD. The number and type of each residential lot approved by plat shall be tracked on each site plan submittal to confirm compliance with the minimum and maximum percentages of each lot type in the chart above.

Development of the Property shall comply with the following tables at full buildout and in phase one, as applicable, unless the Director of Planning authorizes minor modifications to the percentages in these tables:

Full Build-out Lot Count Table

Product	Percentage
SF-A	15% maximum
SF-D1	30% maximum
SF-D2	60% maximum
SF-D3	8% minimum
SF-D4	2% minimum

Phase One Lot Count Table

Product	Percentage
SF-A	15% maximum
SF-D1	40% maximum
SF-D2	60% maximum
SF-D3	8% minimum
SF-D4	2% minimum

Exception to minimum setback: Minimum side setback to detached garages or accessory buildings may be reduced to three feet when a greater setback would otherwise be required.

Permitted encroachments into setbacks: porches (up to eight feet into front yard setback and corner side yard setback, provided, however, no less than a 12-foot setback from the property line shall be permitted on any lot that requires a 12-foot or larger front yard setback); fireplaces and box windows up to two feet into all setbacks; balconies, awnings, overhang eaves up to two feet into all setbacks); bay windows up to four feet into front and rear yard setbacks; stoops and stairs up to five feet into front and rear yard setbacks; suspended planter or flower boxes up to 24 inches into all setbacks; and foundation encroachments of up to six inches in all setbacks for architectural details such as brick ledges. Swimming pools shall have a minimum five-foot setback from rear and side property lines; however, such setback only applies to the swimming pool, and not to associated decking or paving around a swimming pool.

Plats for zero lot line homes shall designate the side with the zero-foot setback and the side with the ten foot setback. A five-foot maintenance easement shall also be provided along the lot line adjacent to a neighboring lot's zero setback side. The maintenance easement shall include a drainage easement to allow for lot-to-lot drainage.

A maximum of eight single family attached units may be attached without a building separation.

VILLA HOMESITES - STANDARD WIDTH, ATTACHED GARAGE

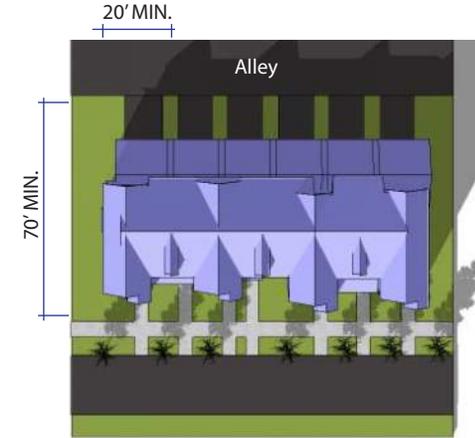
Villa Homesites are attached housing types frequently used for transition between urban multifamily and single family. Each unit is located on a separate platted lot.

EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory buildings maybe reduced to 3' when greater setback would be otherwise required.

HOUSING TYPE ELEMENTS

- Lot Area: 1,400 SF min.
- Lot Width: 20' min.
- Lot Depth: 70' min.
- Maximum Numbers of Stories: 2
- Garage Orientation: Alley
- Maximum Density: 15 du/ac.
- Min Front Yard Setback: 12'
- Minimum Interior Side Yard Setback: 0'
- Minimum Corner Side Yard Setback: 10'
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 80%
- Minimum Dwelling Unit Size: 1,100 SF



Plan: group of Villa Homesites Standard, Attached garage.



View: Group of Villa Homesites Standard, attached garage.



All drawings and dimensions not to scale. Street tree locations shown are illustrative only and are not to scale.

VILLA HOMESITES - STANDARD WIDTH, FRONT ENTRY

Villa Homesites are attached housing types frequently used for transition between urban multifamily and single family. Each unit is located on a separate platted lot.

HOUSING TYPE ELEMENTS

- Lot Area: 1,600 SF min.
- Lot Width: 20' min.
- Lot Depth: 80' min.
- Maximum Numbers of Stories: 2
- Garage Orientation: Front
- Maximum Density: 15 du/ac.
- Min. Front Yard Setback: 20'
- Minimum Interior Side Yard Setback: 0'
- Minimum Corner Side Yard Setback: 10'
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 80%
- Minimum Dwelling Unit Size: 1,100 SF

EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory buildings maybe reduced to 3' when greater setback would be otherwise required.

ALLOWED ENCROACHMENT INTO SETBACK

- Porches (up to 8' in a front setback and corner side yard setback)
- Fireplace and Box windows (up to 2' into all setbacks)
- Balconies, Awnings, Overhang Eaves (up to 2' into all setbacks)
- Bay windows (up to 4' into front and rear setbacks;
- Stoops and Stairs (up to 5' into front and rear setbacks)
- Suspended planter/flower boxes up to 24" into all setback
- Foundation encroachments of 4"-6" are allowed for architectural details such as brick ledges



Plan: group of Villa Homesites Standard, Front Entry.



View: Group of Villa Homesites Standard, detached garage.



All drawings and dimensions not to scale. Street tree locations shown are illustrative only and are not to scale.

VILLA HOMESITES - STANDARD WIDTH, DETACHED GARAGE

SF-A ATTACHED RESIDENTIAL

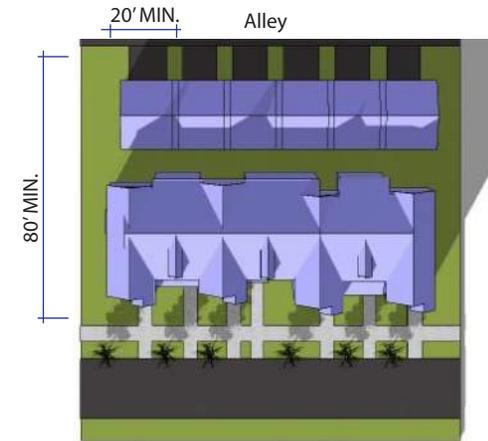
Villa Homesites are attached housing types frequently used for transition between urban multifamily and single family. Each unit is located on a separate platted lot.

EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory buildings maybe reduced to 3' when greater setback would be otherwise required.

HOUSING TYPE ELEMENTS

- Lot Area: 1,600 SF min.
- Lot Width: 20' min.
- Lot Depth: 80' min.
- Maximum Numbers of Stories: 2
- Garage Orientation: Alley
- Maximum Density: 15 du/ac.
- Min. Front Yard Setback: 12'
- Minimum Interior Side Yard Setback: 0'
- Minimum Corner Side Yard Setback: 10'
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 80%
- Minimum Dwelling Unit Size: 1,100 SF



Plan: group of Villa Homesites Standard, Detached garage.



View: Group of Villa Homesites Standard, detached garage.



All drawings and dimensions not to scale. Street tree locations shown are illustrative only and are not to scale.

BROWNSTONES: 3-UNITS

SF-A ATTACHED RESIDENTIAL

3-unit Brownstones are typical attached housing types frequently used for transition between urban multifamily and single family lots areas. Although each units is located on a separate platted lot, units are designed in groups of three, attached by a common element.

EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory buildings maybe reduced to 3' when greater setback would be otherwise required.

3-UNITS

HOUSING TYPE ELEMENTS

3-Unit Module Lot Area: 4,220 SF min.

** Lot Area of each unit 1,040 SF min.

3-unit Module Width: 48' min.

** Lot Width at each unit is 16' min

3-unit Module Depth: 65' min.

Maximum Numbers of Stories: 2

Garage Orientation: Alley

Maximum Density: 22 du/ac.

Min. Front Yard Setback: 12'

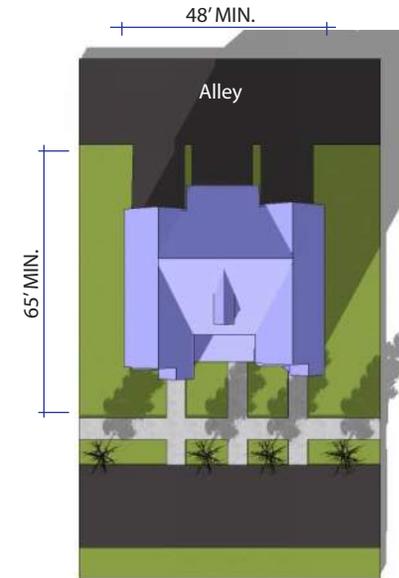
Minimum Interior Side Yard Setback: 0'

Minimum Corner Side Yard Setback: 10'

Minimum Rear Yard Setback: 5'

Maximum Lot Coverage: 80%

Minimum Dwelling Unit Size: 1,200 SF



Plan: 3- Unit Brownstone



View: 3- Unit Brownstone



All drawings and dimensions not to scale. Street tree locations shown are illustrative only and are not to scale.

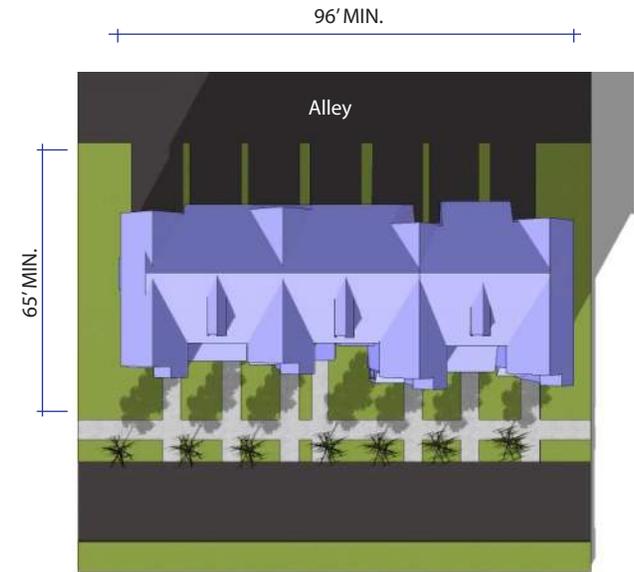
BROWNSTONES: 6-UNITS

SF-A ATTACHED RESIDENTIAL

6-unit Brownstones are typical attached housing types frequently used for transition between urban multifamily and single family lots areas. Although each units is located on a separate platted lot, units are designed in groups of six, attached by a common element.

EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory buildings maybe reduced to 3' when greater setback would be otherwise required.



Plan: 6- Unit Brownstone



View: 6- Unit Brownstone

6-UNITS

HOUSING TYPE ELEMENTS

6-Unit Module Lot Area: 7,800 SF min.

** Lot Area of each units 1,040 SF min.

6-unit Module Width: 96' min.

** Lot Width at each unit is 16' min

6-unit Module Depth: 65' min.

Maximum Numbers of Stories: 2

Garage Orientation: Alley

Maximum Density: 22 du/ac.

Min. Front Yard Setback: 12'

Minimum Interior Side Yard Setback: 0'

Minimum Corner Side Yard Setback: 10'

Minimum Rear Yard Setback: 5'

Maximum Lot Coverage: 80%

Minimum Dwelling Unit Size: 1,200 SF



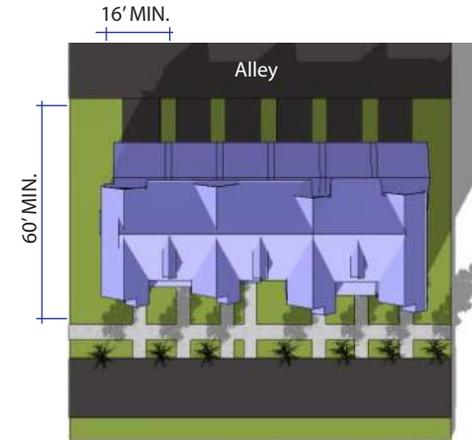
All drawings and dimensions not to scale. Street tree locations shown are illustrative only and are not to scale.

BROWNSTONES: LIVE-WORK

Live-work Brownstones are narrow lot, attached housing types which offer the flexibility of a bonus room for a home office in addition of all the characteristics of a typical townhome. The living areas are placed at upper levels. This hybrid type of housing is typically used to transition from nonresidential uses along major streets. So as to benefit from the vehicular and pedestrian traffic. Similar to Townhomes the lot configuration may be narrow allowing for two tandem parking spaces.

EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory buildings maybe reduced to 3' when greater setback would be otherwise required.



Plan: group of Live-Work Brownstones

HOUSING TYPE ELEMENTS

- Lot Area: 960 SF min.
- Lot Width: 16' min.
- Lot Depth: 60' min.
- Maximum Numbers of Stories: 3
- Garage Orientation: Alley
- Maximum Density: 22 du/ac.
- Min. Front Yard Setback: 12'
- Minimum Interior Side Yard Setback: 0'
- Minimum Corner Side Yard Setback: 10'
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 80%
- Minimum Dwelling Unit Size: 850 SF



View: group of Live-Work Brownstones



All drawings and dimensions not to scale. Street tree locations shown are illustrative only and are not to scale.

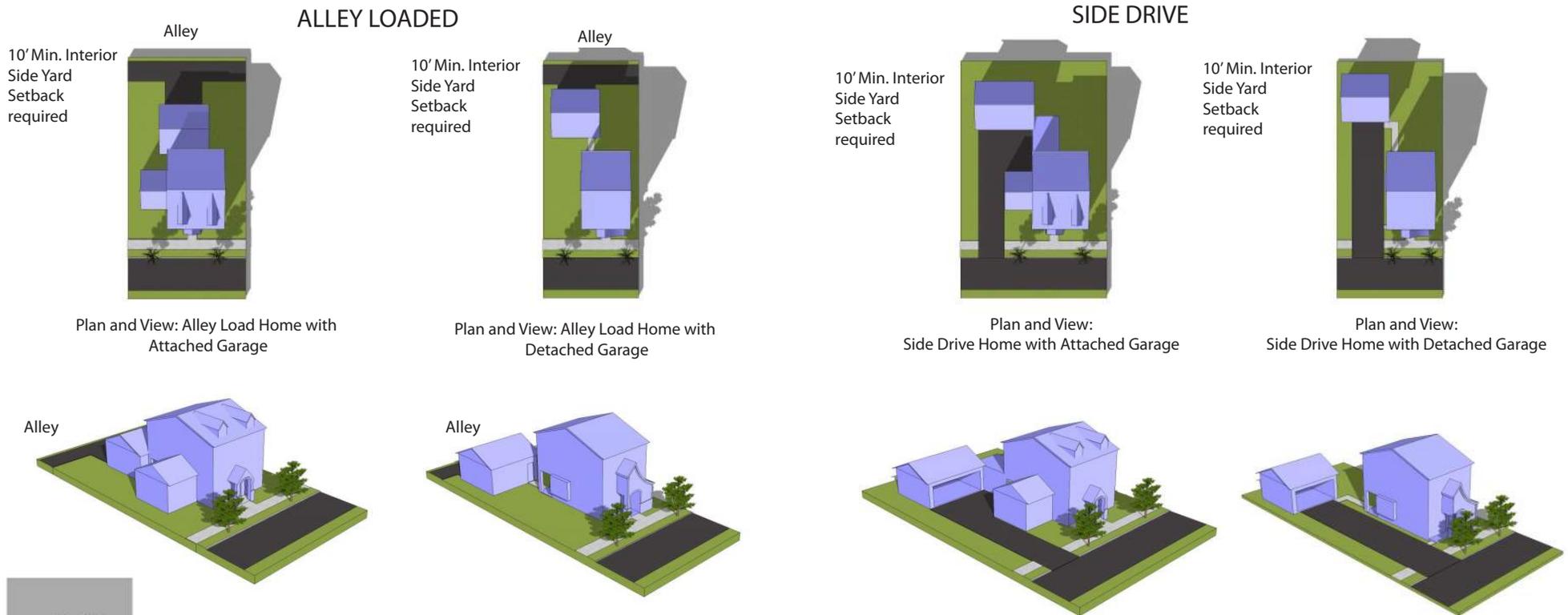
ZERO LOT DETACHED RESIDENTIAL

DETACHED RESIDENTIAL

Zero lot detached residential have no setback/zero side setback on one side of the home to allow for other side to be used entirely as a side yard. The zero lot detached residential will have min. 10' setback/ easement one side. Zero Lots are allowed in the following building types.

- 1) Garden Homesite
- 2) Paseo Homesite
- 3) Courtyard Homesite
- 4) Cottage Homesite
- 5) Chalet and Executive Homesite - Alley Loaded and Side Drive only (attached and detached garage).

The illustrations below show a generic zero lot condition for alley side drives. Please refer to the appropriate building for lot widths, lot depths, size and front setback standards and allowed garage orientation. All drawings and dimensions not to scale.



All drawings and dimensions not to scale. Street tree locations shown are illustrative only and are not to scale.

GARDEN HOMESITES

SF-1 DETACHED RESIDENTIAL

The Garden Homesite is a block type in which alley-fed small single family lots are arranged around a common green. The cluster with its depth of no more than 160' should have at least one public street along the green. A common walkway along the green serves all lots. This type has proven to be a very popular option, especially for couples, young families, and empty nesters. The shared green provide safety for younger children and a park like atmosphere in which to play without crossing any streets, the court-facing homes allow for easy supervision by parents or community members. All the homes face a common green space and parking must be accessed from alleys.

HOUSING TYPE ELEMENTS

- Lot Area: 1,980 SF min.
- Lot Width 30' min (40' min. on corner lots)
- Lot Depth: 66' min.
- Maximum Numbers of Stories: 2
- Garage Orientation: Alley, 2 spaces
- Maximum Density: 13 du/ac.
- Min. Front Yard Setback: 10'
- Minimum Interior Side Yard Setback: 5' (except for Zero Lot Line Types where 10' min. side setbacks is required on one side 0' on the other)
- Minimum Corner Side Yard Setback: 10'

HOUSING TYPE ELEMENTS - CONT.

- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 80%
- Minimum Dwelling Unit Size: 1,000 SF

EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory buildings maybe reduced to 3' when greater setback would be otherwise required.



Plans: Individual Garden Homesite



Plan: Garden Homesite cluster



View: Garden Homesite cluster



All drawings and dimensions not to scale. Street tree locations shown are illustrative only and are not to scale.

PASEO HOMESITES

Paseo Homesites are a block type in which alley served small single family lots are arranged on both sides of a linear common green. The Paseo which is typically not deeper than 300', should connect two public streets and the units are served by a common walkway along the paseo.

HOUSING TYPE ELEMENTS

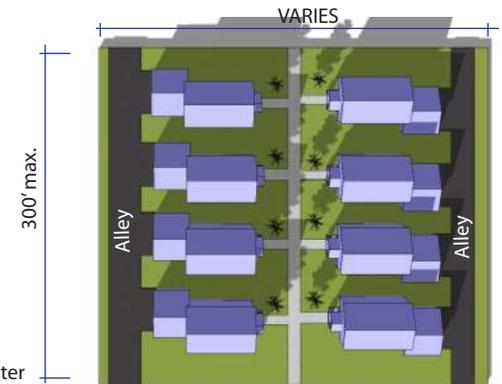
- Lot Area: 1,980 SF min.
- Lot Width: 30' min.
- Lot Depth: 66' min.
- Maximum Numbers of Stories: 2
- Garage Orientation: Alley, 2 spaces
- Maximum Density: 13 du/ac.
- Min. Front Yard Setback: 10'
- Minimum Interior Side Yard Setback: 5' (except for Zero Lot Line Types where 10' min. side setbacks is required on one side one 0' on the other)
- Minimum Corner Side Yard Setback: 10'
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 80%
- Minimum Dwelling Unit Size: 1,000 SF

EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory buildings maybe reduced to 3' when greater setback would be otherwise required.



Plans: Individual Paseo Homesite



Plan: Paseo Homesite cluster



View: Paseo Homesite cluster

All drawings and dimensions not to scale. Street tree locations shown are illustrative only and are not to scale.



COTTAGE HOMESITES - ALLEY LOADED: ATTACHED AND DETACHED GARAGE

SF-D1 DETACHED RESIDENTIAL

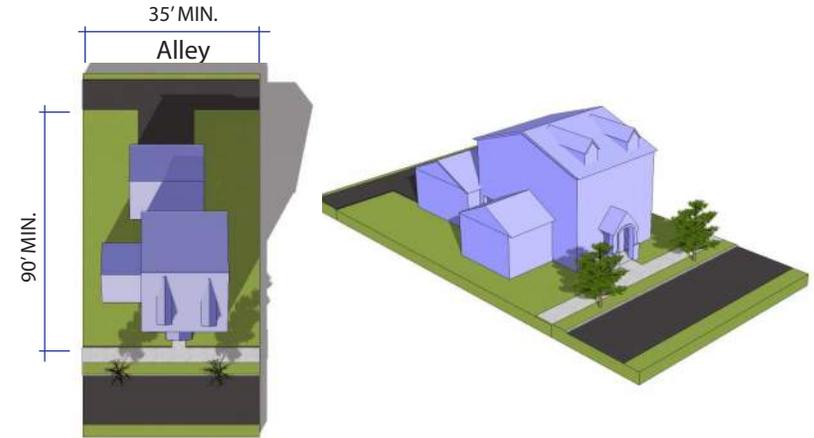
Cottage Homes appeal to individuals and families who desire single-family units with limited yard maintenance.

EXCEPTIONS TO MINIMUM SETBACK:

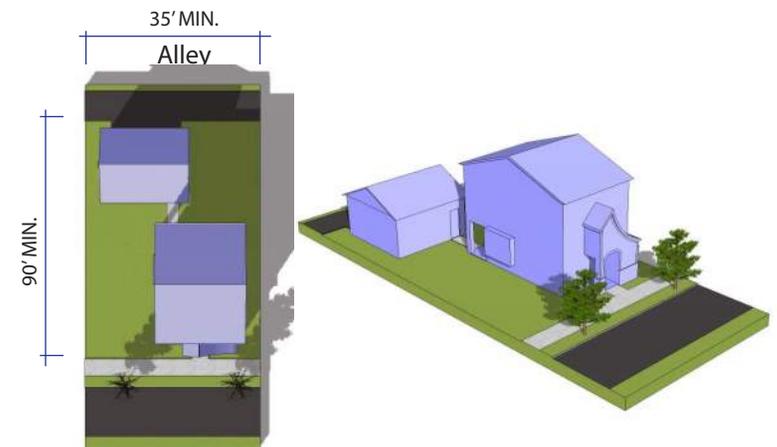
Minimum side setback to detached garages or accessory buildings maybe reduced to 3' when greater setback would be otherwise required.

HOUSING TYPE ELEMENTS

- Lot Area: 3,150 SF min.
- Lot Width: 35' min.
- Lot Depth: 90' min.
- Maximum Numbers of Stories: 2
- Garage Orientation: Alley, min 2 spaces
- Maximum Density: 13 du/ac.
- Min. Front Yard Setback: 12'
- Minimum Interior Side Yard Setback: 5' (except for Zero line Types where 10' min. side setbacks is required on one side and 0' on the other)
- Minimum Corner Side Yard Setback: 10'
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 75%
- Minimum Dwelling Unit Size: 1,000 SF



View and Plan: Alley Load Chalet Home with Attached Garage



View and Plan: Alley Load Chalet Home with Detached Garage



All drawings and dimensions not to scale. Street tree locations shown are illustrative only and are not to scale.

CHALET HOMESITES -SIDE-DRIVE: ATTACHED AND DETACHED GARAGE

SF-D1 DETACHED RESIDENTIAL

Chalet Homes appeal to individuals and families who desire single-family units with limited yard maintenance.

HOUSING TYPE ELEMENTS

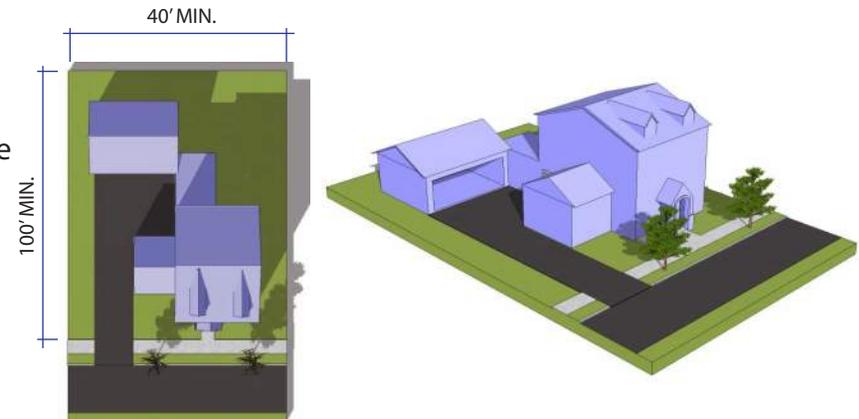
- Lot Area: 4,000 SF min.
- Lot Width: 40' min.
- Lot Depth: 100' min.
- Maximum Numbers of Stories: 2
- Garage Orientation: Side Drive, 2 spaces
- Maximum Density: 6 du/ac.
- Minimum Front Yard Setback: 20'
- Maximum Interior Side Yard Setback: 5' (except for Zero lot line types where 10 min. side setback is required on one side and 0' on the other)
- Minimum Corner Side Yard Setback: 10'
- Minimum Front Garage Setback For Side-Drive: 40'
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 75%
- Minimum Dwelling Unit Size: 1,200 SF

EXCEPTIONS TO MINIMUM SETBACK:

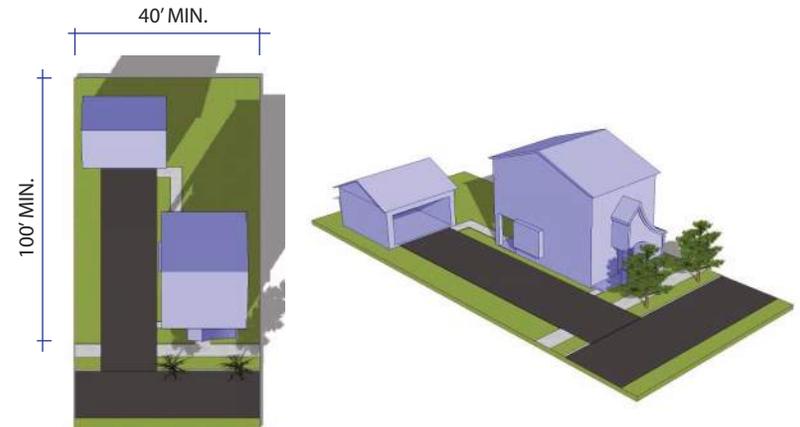
Minimum side setback to detached garages or accessory buildings may be reduced to 3' when greater setback would be otherwise required.

ALLOWED ENCROACHMENT INTO SETBACK

- Porches (up to 8' into front setback and corner side yard setback)
- Fireplace and Box windows (up to 2' into all setbacks)
- Balconies, Awnings, Overhang Eaves (up to 2' into all setbacks)
- Bay windows (up to 4' into front end rear setbacks;
- Stoops and Stairs (up to 5' into front and rear setbacks)
- Suspended planter/flower boxes up to 24" into all setbacks
- Foundation encroachments of 4"-6" are allowed for architectural details such as brick ledges



View and Plan: Alley Load Chalet Home with Attached Garage



View and Plan: Side Drive Chalet Home with Detached Garage

All drawings and dimensions not to scale. Street tree locations shown are illustrative only and are not to scale.



CHALET HOMESITES - TRADITIONAL FRONT LOADED

SF-D1 DETACHED RESIDENTIAL

HOUSING TYPE ELEMENTS

Lot Area: 4,000 SF min.
 Lot Width: 40' min.
 Lot Depth: 100' min.
 Maximum Numbers of Stories: 2
 Garage Orientation: Side Drive, 2 spaces
 Maximum Density: 6 du/ac.
 Minimum Front Yard Setback: 20'

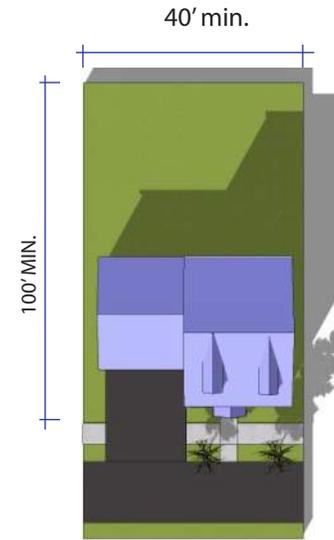
Maximum Interior Side Yard Setback: 5'
 (except for Zero lot line types where 10 min. side setback is required on one side and 0' on the other)
 Minimum Corner Side Yard Setback: 10'
 Minimum Rear Yard Setback: 5'
 Maximum Lot Coverage: 75%
 Minimum Dwelling Unit Size: 1,200 SF

EXCEPTIONS TO MINIMUM SETBACK:

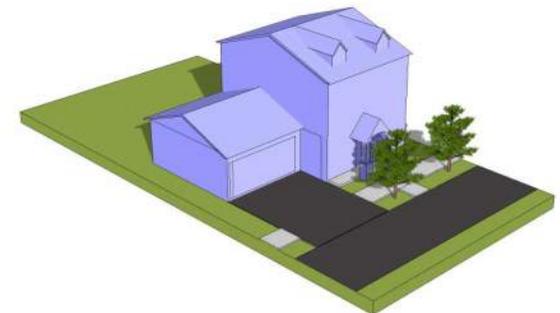
Minimum side setback to detached garages or accessory buildings maybe reduced to 3' when greater setback would be otherwise required.

ALLOWED ENCROACHMENT INTO SETBACK

- Porches (up to 8' into front setback and corner side yard setback)
- Fireplace and Box windows (up to 2' into all setbacks)
- Balconies, Awnings, Overhang Eaves (up to 2' into all setbacks)
- Bay windows (up to 4' into front end rear setbacks;
- Stoops and Stairs (up to 5' into front and rear setbacks)
- Suspended planter/flower boxes up to 24" into all setbacks
- Foundation encroachments of 4"-6" are allowed for architectural details such as brick ledges



Plan: Front Loaded Chalet Home



View: Front Loaded Chalet Home



All drawings and dimensions not to scale. Street tree locations shown are illustrative only and are not to scale.

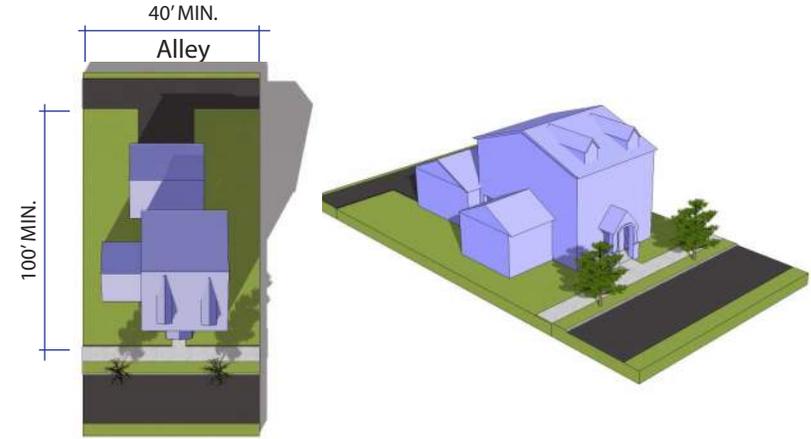
CHALET HOMESITES - ALLEY LOADED: ATTACHED AND DETACHED GARAGE

HOUSING TYPE ELEMENTS

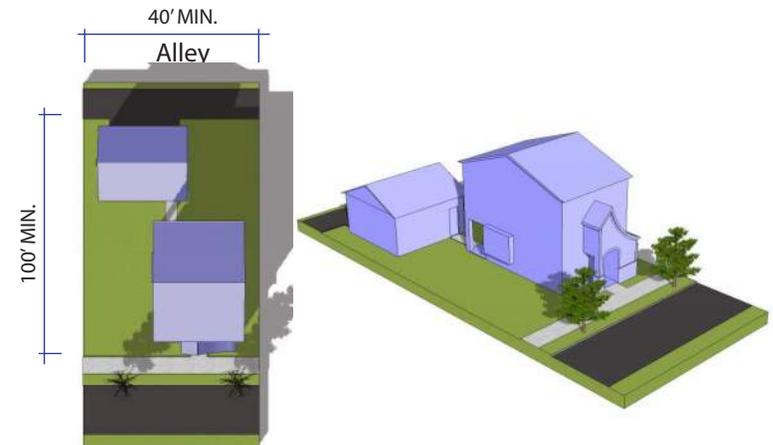
- Lot Area: 4,000 SF min.
- Lot Width: 40' min.
- Lot Depth: 100' min.
- Maximum Numbers of Stories: 2
- Garage Orientation: Alley, min. 2 spaces
- Maximum Density: 6 du/ac.
- Min. Front Yard Setback: 12'
- Maximum Interior Side Yard Setback: 5'
(except for Zero lot line Types where 10 min. side setback is required on one side and 0' on the other)
- Minimum Corner Side Yard Setback: 10'
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 75%
- Minimum Dwelling Unit Size: 1,200 SF

EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory buildings maybe reduced to 5' when greater setback would be otherwise required.



View and Plan: Alley Loaded Chalet Home with Attached Garage



View and Plan: Alley Loaded Chalet Home with Detached Garage



All drawings and dimensions not to scale. Street tree locations shown are illustrative only and are not to scale.

COURTYARD HOMESITES

SF-D1 DETACHED RESIDENTIAL

A Courtyard Homes is a block type in which alley-fed small or single family lots are arranged on both sides of a linear common court. This configuration accommodates single story living popular with an older population. Units can also be modified for wheelchairs use for specific needs.

HOUSING TYPE ELEMENTS

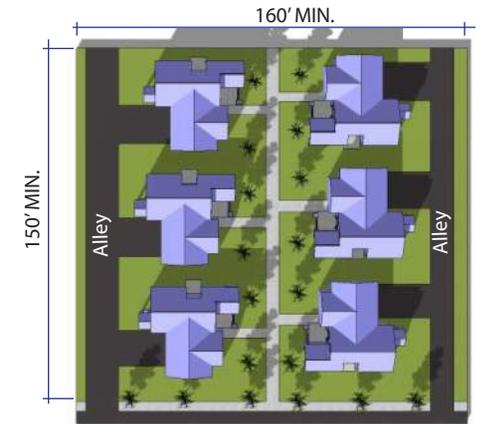
- 6-plex Module Lot area: 25,600 SF min.
- ** Lot area of each unit is 4,000 SF min
- 6-plex Module Width: 150' min.
- **Lot Width of each unit is 50'
- 6-plex Module Depth: 160' min.
- Note: Lot Depth of each unit is 80'
- Maximum Number of Stories: 2
- Garage Orientation: Alley, 2 Spaces
- Maximum Density: 10 du/ac.
- Minimum Front Yard Setback: 10'
- Minimum Interior Side Yard Setback: 5' (except for Zero Lot Line Types where 10' min. side setbacks is required on one side one 0' on the other)
- Minimum Corner Side Yard Setback: 10'
- Minimum Rear Yard Setback: 5'
- Minimum Lot Coverage: 80%
- Minimum Dwelling Unit Size: 1,400 SF

EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory buildings maybe reduced to 3' when greater setback would be otherwise required.



Plan: Individual Courtyard Homesite



Plan: Cluster of Courtyard Homesites



View: Courtyard Homesites Cluster



All drawings and dimensions not to scale. Street tree locations shown are illustrative only and are not to scale.

HOUSING TYPE ELEMENTS

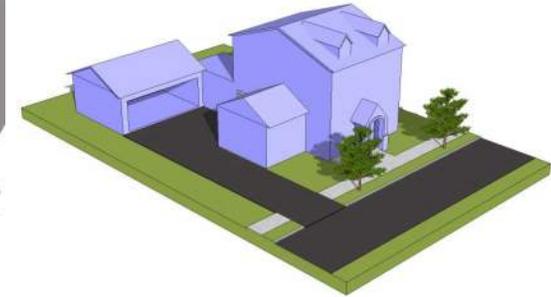
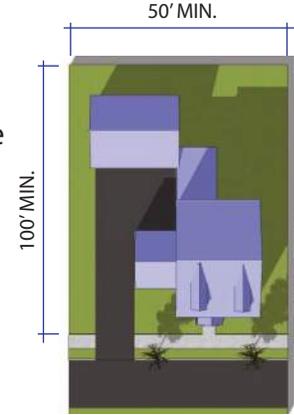
- Lot Area: 5,000 SF min.
- Lot Width: 50' min.
- Lot Depth: 100' min.
- Maximum Numbers of Stories: 2
- Garage Orientation: Side Drive, min 2 spaces
- Maximum Density: 5 du/ac.
- Min. Front Yard Setback: 12'
- Minimum Interior Side Yard Setback: 5' (except for zero Lot line Types where 10' min. side setback is required on one side and 0' on the other)
- Minimum Corner Side Yard Setback: 10'
- Minimum Front Garage Setback for Side-Drive Lots: 40'
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 75%
- Minimum Dwelling Unit Size: 1,400 SF

EXCEPTIONS TO MINIMUM SETBACK:

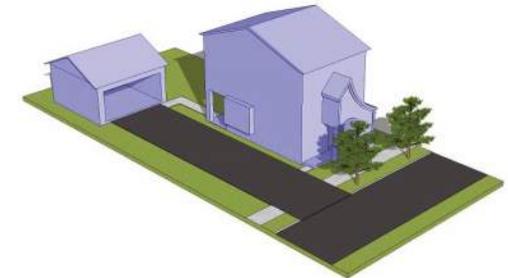
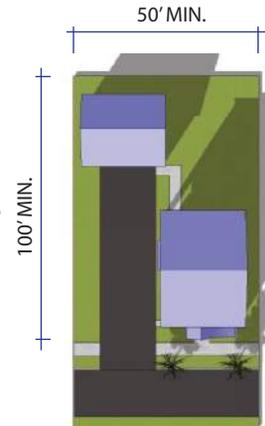
Minimum side setback to detached garages or accessory building maybe reduced to 5' when greater setback would be otherwise required.

ALLOWED ENCROACHMENT INTO SETBACK

- Porches (up to 8' in a front setback and corner side yard setback)
- Fireplace and Box windows (up to 2' into all setbacks)
- Balconies, Awnings, Overhang Eaves (up to 2' into all setback)
- Bay windows (up to 4' into front and rear setbacks;
- Stoops and Stairs (up to 5' into front and rear setbacks)
- Suspended planter/flower boxes up to 24" into all setback
- Foundation encroachments of 4"-6" are allowed for architectural details such as brick ledges



View and Plan: Side Drive Home with Attached Garage



View and Plan: Side Drive Executive Home with Detached Garage



All drawings and dimensions not to scale. Street tree locations shown are illustrative only and are not to scale.

EXECUTIVE HOMESITES - ALLEY LOADED: ATTACHED AND DETACHED GARAGE

SF-D2 DETACHED RESIDENTIAL

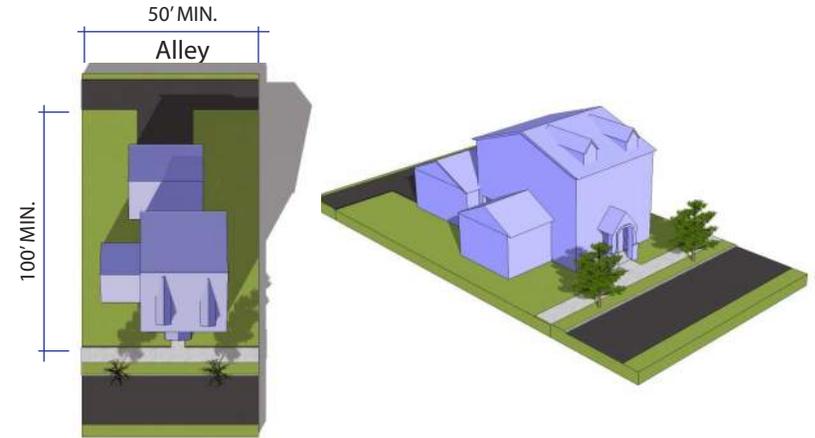
Executive Homes are the most currently used traditional lot types, these allow a moderate size backyard.

HOUSING TYPE ELEMENTS

- Lot Area: 5,000 SF min.
- Lot Width: 50' min.
- Lot Depth: 100' min.
- Maximum Numbers of Stories: 2
- Garage Orientation: Alley, min. 2 spaces
- Maximum Density: 5 du/ac.
- Min./Max. Front Yard Setback: 12'
- Maximum Interior Side Yard Setback: 5' (except for Zero lot line Types where 10 min. side setback is required on one side and 0' on the other)
- Minimum Corner Side Yard Setback: 10'
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 75%
- Minimum Dwelling Unit Size: 1,400 SF

EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory buildings maybe reduced to 5' when greater setback would be otherwise required.



View and Plan: Alley Loaded Executive Home with Attached Garage



View and Plan: Alley Loaded Executive Home with Detached Garage



All drawings and dimensions not to scale. Street tree locations shown are illustrative only and are not to scale.

EXECUTIVE HOMESITES - FRONT LOADED

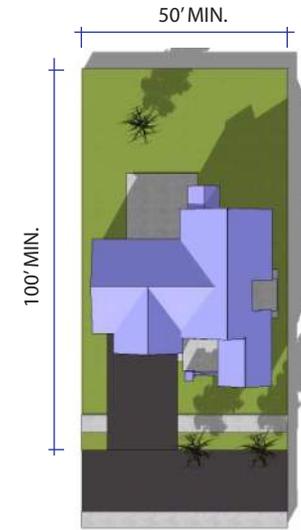
SF-D2 DETACHED RESIDENTIAL

HOUSING TYPE ELEMENTS

- Lot Area: 5,000 SF min.
- Lot Width: 50' min.
- Lot Depth: 100' min.
- Maximum Numbers of Stories: 2
- Garage Orientation: Side Drive, min 2 spaces
- Maximum Density: 5 du/ac.
- Min. Front Yard Setback: 20'
- Minimum Interior Side Yard Setback: 5' (except for zero Lot line Types where 10' min. side setback is required on one side and 0' on the other)
- Minimum Corner Side Yard Setback: 10'
- Minimum Front Garage Setback for front Loaded Lots: 20'
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 75%
- Minimum Dwelling Unit Size: 1,400 SF

EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building maybe reduced to 5' when greater setback would be otherwise required.



View: Front Load Executive Home



Plan: Front Load Executive Home



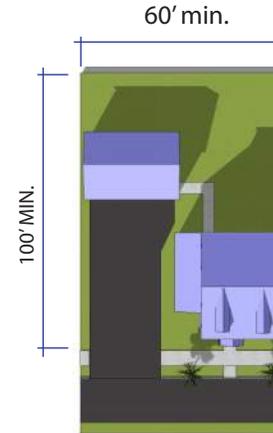
All drawings and dimensions not to scale. Street tree locations shown are illustrative only and are not to scale.

HOUSING TYPE ELEMENTS

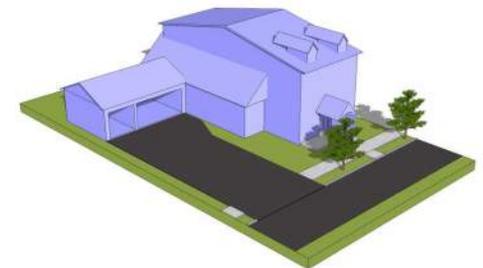
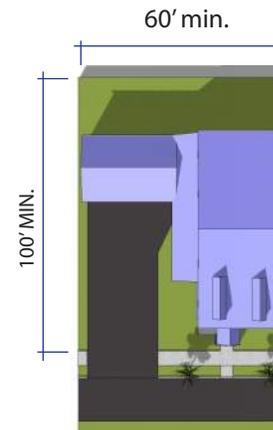
- Lot Area: 6,000 SF min.
- Lot Width: 60' min.
- Lot Depth: 100' min.
- Maximum Numbers of Stories: 2
- Garage Orientation: Side Drive, Min. 2 spaces, 3 allowed.
- Maximum Density (60' Width): 4 du/ac.
- Min. Front Yard Setback: 12'
- Minimum Interior Side Yard Setback: 5'
- Minimum Corner Side Yard Setback: 10'
- Minimum Front Garage Setback: 20'
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 75%
- Minimum Dwelling Unit Size: 1,800 SF

EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building maybe reduced to 5' when greater setback would be otherwise required.



View and Plan: Side Drive Manor Home with Detached Garage



View and Plan: Side Drive Manor Home with Attached Garage

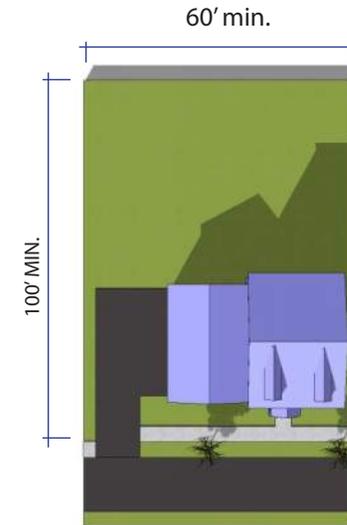
All drawings and dimensions not to scale. Street tree locations shown are illustrative only and are not to scale.

HOUSING TYPE ELEMENTS

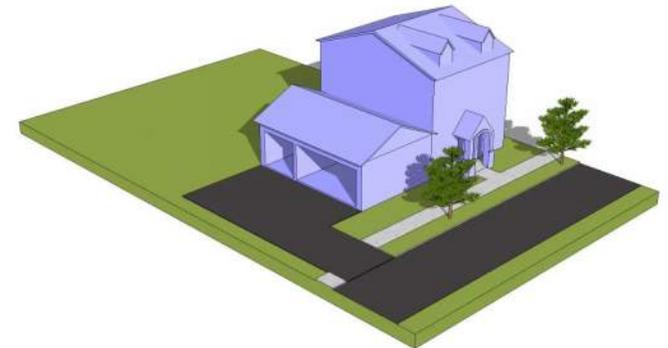
- Lot Area: 6,000 SF min.
- Lot Width: 60' min.
- Lot Depth: 100' min.
- Maximum Numbers of Stories: 2
- Garage Orientation: Side Drive, Min. 2 spaces, 3 allowed.
- Maximum Density (60' Width): 4 du/ac.
- Min. Front Yard Setback: 12'
- Minimum Interior Side Yard Setback: 5'
- Minimum Corner Side Yard Setback: 10' (min front garage setback for side J-swing Lots - 20')
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 75%
- Minimum Dwelling Unit Size: 1,800 SF

EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building maybe reduced to 5' when greater setback would be otherwise required.



Plan: Traditional Type Manor Home



View: Traditional Type Manor Home



All drawings and dimensions not to scale. Street tree locations shown are illustrative only and are not to scale.

MANOR HOMESITES - ALLEY LOADED: DETACHED GARAGE

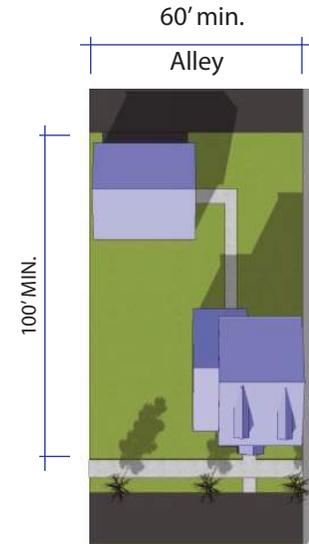
SF-D3 DETACHED RESIDENTIAL

HOUSING TYPE ELEMENTS

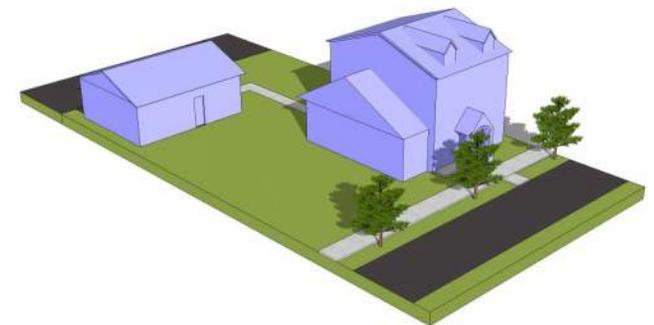
- Lot Area: 6,000 SF min.
- Lot Width: 60' min.
- Lot Depth: 100' min.
- Maximum Numbers of Stories: 2
- Garage Orientation: Alley, Min. 2 spaces, 3 allowed.
- Maximum Density (60' Width): 4 du/ac.
- Min. Front Yard Setback: 12'
- Minimum Interior Side Yard Setback: 5'
- Minimum Corner Side Yard Setback: 10'
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 75%
- Minimum Dwelling Unit Size: 1,800 SF

EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building maybe reduced to 5' when greater setback would be otherwise required.



Plan: Alley Load Manor Home



View: Alley Load Manor Home



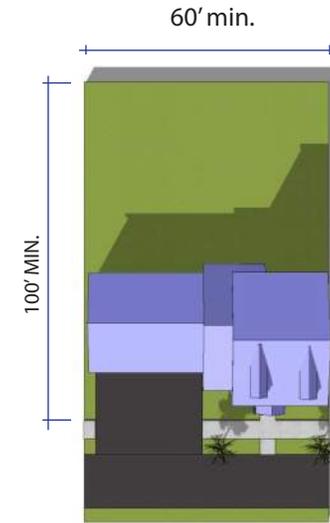
All drawings and dimensions not to scale. Street tree locations shown are illustrative only and are not to scale.

HOUSING TYPE ELEMENTS

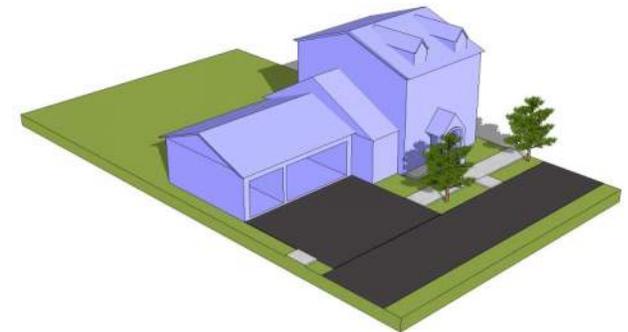
- Lot Area: 6,000 SF min.
- Lot Width: 60' min
- Lot Depth: 100' min.
- Maximum Numbers of Stories: 2
- Garage Orientation: Front, Min. 2 spaces, 3 allowed.
- Maximum Density (60' Width): 4 du/ac.
- Min. Front Yard Setback: 12'
- Minimum Interior Side Yard Setback: 5'
- Minimum Corner Side Yard Setback 10'
- Minimum Front Garage Setback for front loaded lots: 20'
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 75%
- Minimum Dwelling Unit Size: 1,800 SF

EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building maybe reduced to 5' when greater setback would be otherwise required.



Plan: Front Load Manor Home



View: Front Load Manor Home



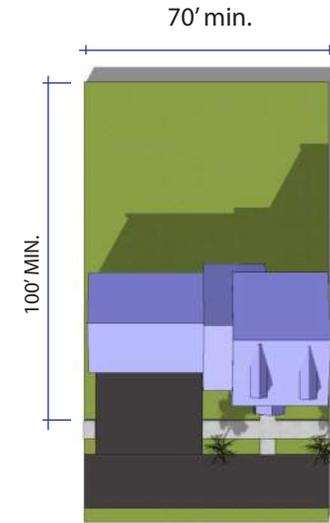
All drawings and dimensions not to scale. Street tree locations shown are illustrative only and are not to scale.

HOUSING TYPE ELEMENTS

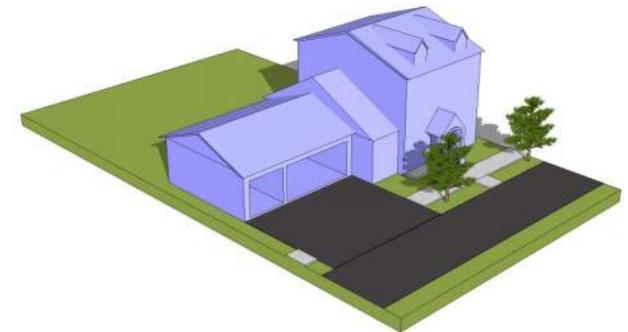
- Lot Area: 7,000 SF min.
- Lot Width: 70' SF min.
- Lot Depth: 100' min.
- Maximum Numbers of Stories: 2
- Garage Orientation: Front, Min. 2 spaces, 3 allowed.
- Maximum Density (70' Width): 3.5 du/ac.
- Min. Front Yard Setback: 12'
- Minimum Interior Side Yard Setback: 5'
- Minimum Corner Side Yard Setback 10'
- Minimum Front Garage Setback for front loaded lots: 20'
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 75%
- Minimum Dwelling Unit Size: 2,000 SF

EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building maybe reduced to 5' when greater setback would be otherwise required.



Plan: Front Load Chateau Home



View: Front Load Chateau Home



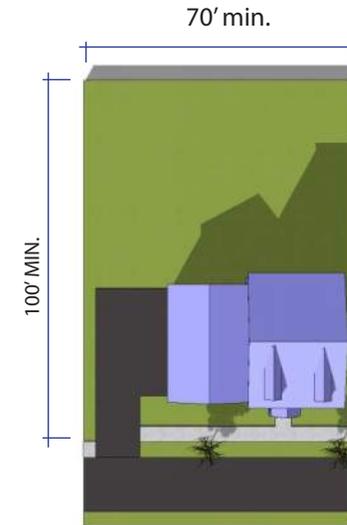
All drawings and dimensions not to scale. Street tree locations shown are illustrative only and are not to scale.

HOUSING TYPE ELEMENTS

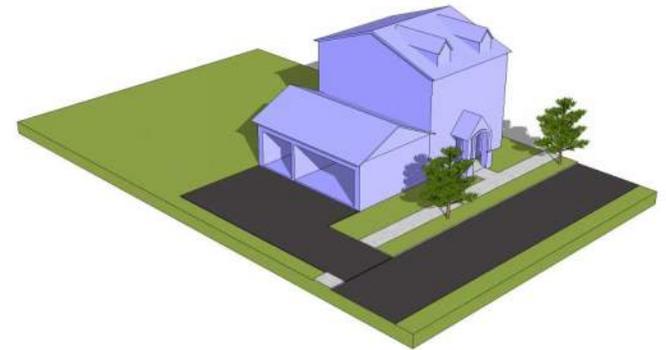
- Lot Area: 7,000 SF min.
- Lot Width: 70' SF min.
- Lot Depth: 100' min.
- Maximum Numbers of Stories: 2
- Garage Orientation: Side Drive, Min. 2 spaces, 3 allowed.
- Maximum Density (70' Width): 3.5 du/ac.
- Min. Front Yard Setback: 12'
- Minimum Interior Side Yard Setback: 5'
- Minimum Corner Side Yard Setback: 10' (min front garage setback for side J-swing Lots - 20')
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 75%
- Minimum Dwelling Unit Size: 2,000 SF

EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building maybe reduced to 5' when greater setback would be otherwise required.



Plan: Traditional Type Chateau Home



View: Traditional Type Chateau Home



All drawings and dimensions not to scale. Street tree locations shown are illustrative only and are not to scale.

CHATEAU HOMESITES - SIDE DRIVE: ATTACHED AND DETACHED GARAGE

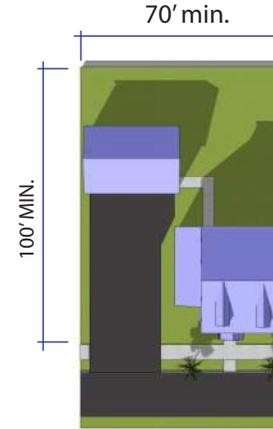
SF-D4 DETACHED RESIDENTIAL

HOUSING TYPE ELEMENTS

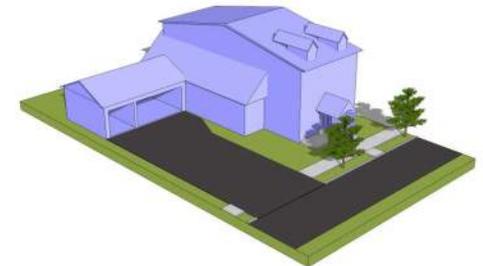
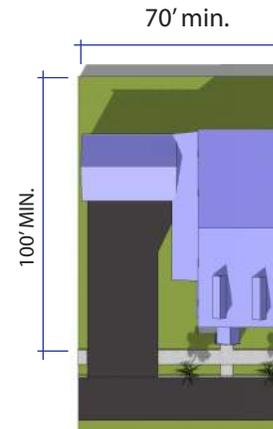
- Lot Area: 7,000 SF min.
- Lot Width: 70' min.
- Lot Depth: 100' min.
- Maximum Numbers of Stories: 2
- Garage Orientation: Side Drive, Min. 2 spaces, 3 allowed.
- Maximum Density (70' Width): 3.5 du/ac.
- Min. Front Yard Setback: 12'
- Minimum Interior Side Yard Setback: 5'
- Minimum Corner Side Yard Setback: 10'
- Minimum Front Garage Setback: 20'
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 75%
- Minimum Dwelling Unit Size: 2,000 SF

EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building maybe reduced to 5' when greater setback would be otherwise required.



View and Plan: Side Drive Chateau Home with Detached Garage



View and Plan: Side Drive Chateau Home with Attached Garage



All drawings and dimensions not to scale. Street tree locations shown are illustrative only and are not to scale.

CHATEAU HOMESITES - ALLEY LOADED: DETACHED GARAGE

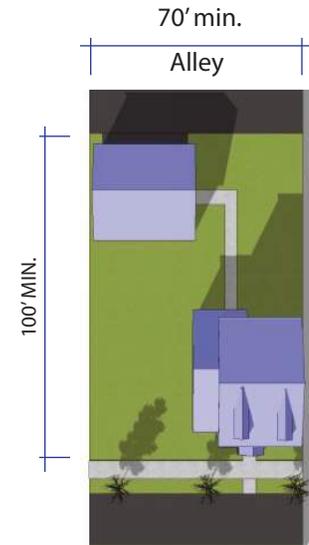
SF-D4 DETACHED RESIDENTIAL

HOUSING TYPE ELEMENTS

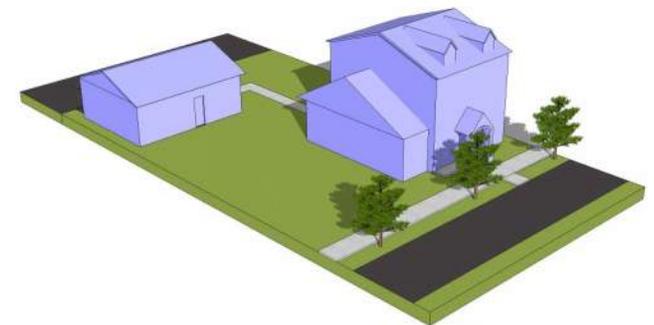
- Lot Area: 7,000 SF min.
- Lot Width: 70' min.
- Lot Depth: 100' min.
- Maximum Numbers of Stories: 2
- Garage Orientation: Alley: Min. 2 spaces, 3 allowed.
- Maximum Density (70' Width): 3.5 du/ac.
- Min. Front Yard Setback: 12'
- Minimum Interior Side Yard Setback: 5'
- Minimum Corner Side Yard Setback: 10'
- Minimum Rear Yard Setback: 5'
- Maximum Lot Coverage: 75%
- Minimum Dwelling Unit Size: 2,000 SF

EXCEPTIONS TO MINIMUM SETBACK:

Minimum side setback to detached garages or accessory building maybe reduced to 5' when greater setback would be otherwise required.



Plan: Alley Load Chateau Home

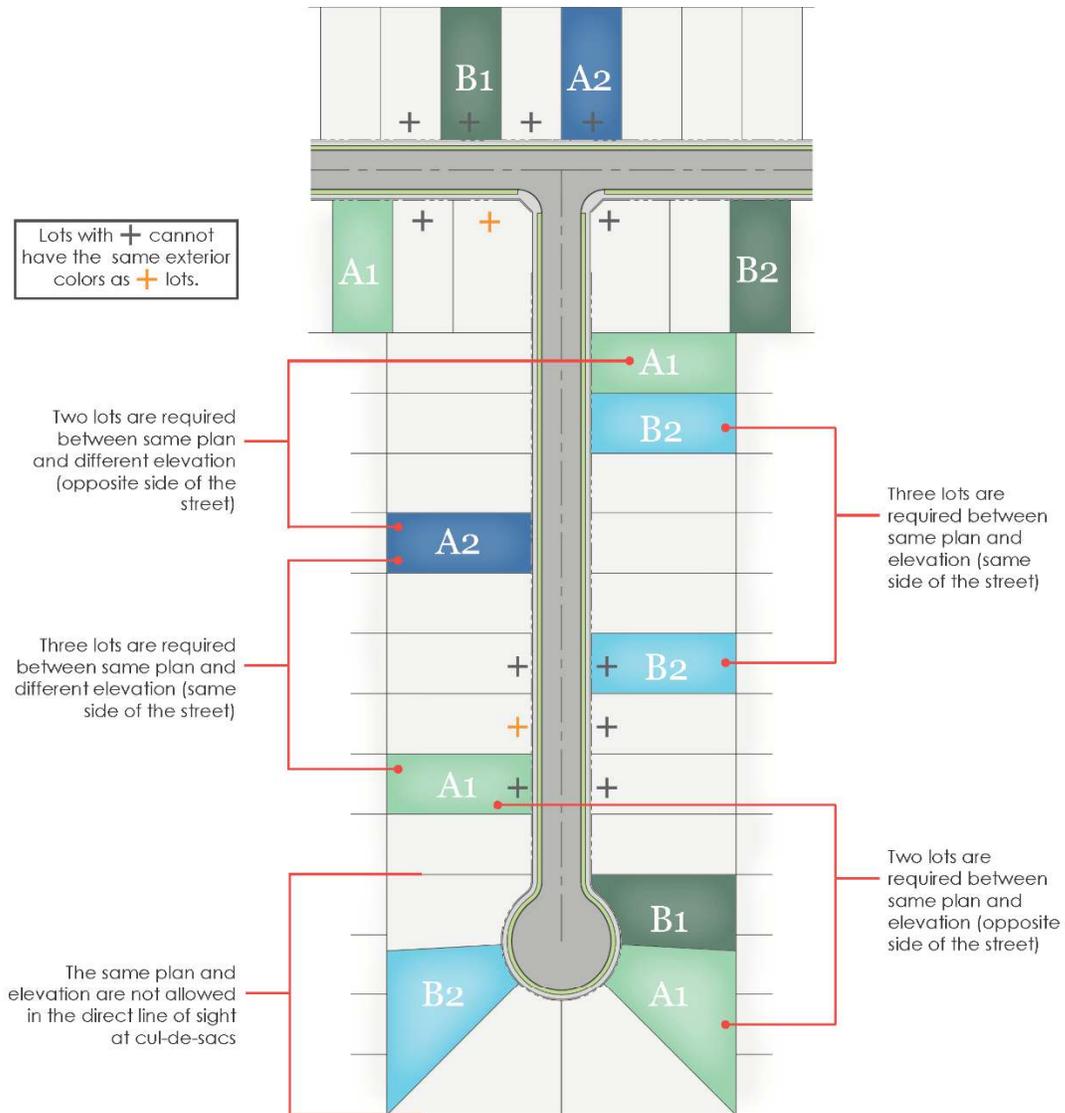


View: Alley Load Chateau Home



All drawings and dimensions not to scale. Street tree locations shown are illustrative only and are not to scale.

Exhibit G
Anti-Repetition Requirements for Single Family Detached Homes and Duplexes



Repetition Guidelines are as follows:

Same side of street -

- Same plan, same elevation must have 3 lots in between,
- Same plan, different elevation must have 3 lot in between

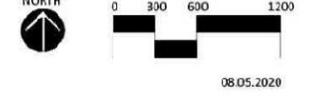
Opposite side of the street -

- Same plan, same elevation must have 2 complete lots in between.
- Same plan, different elevation must have 2 complete lot in between.

Exterior colors

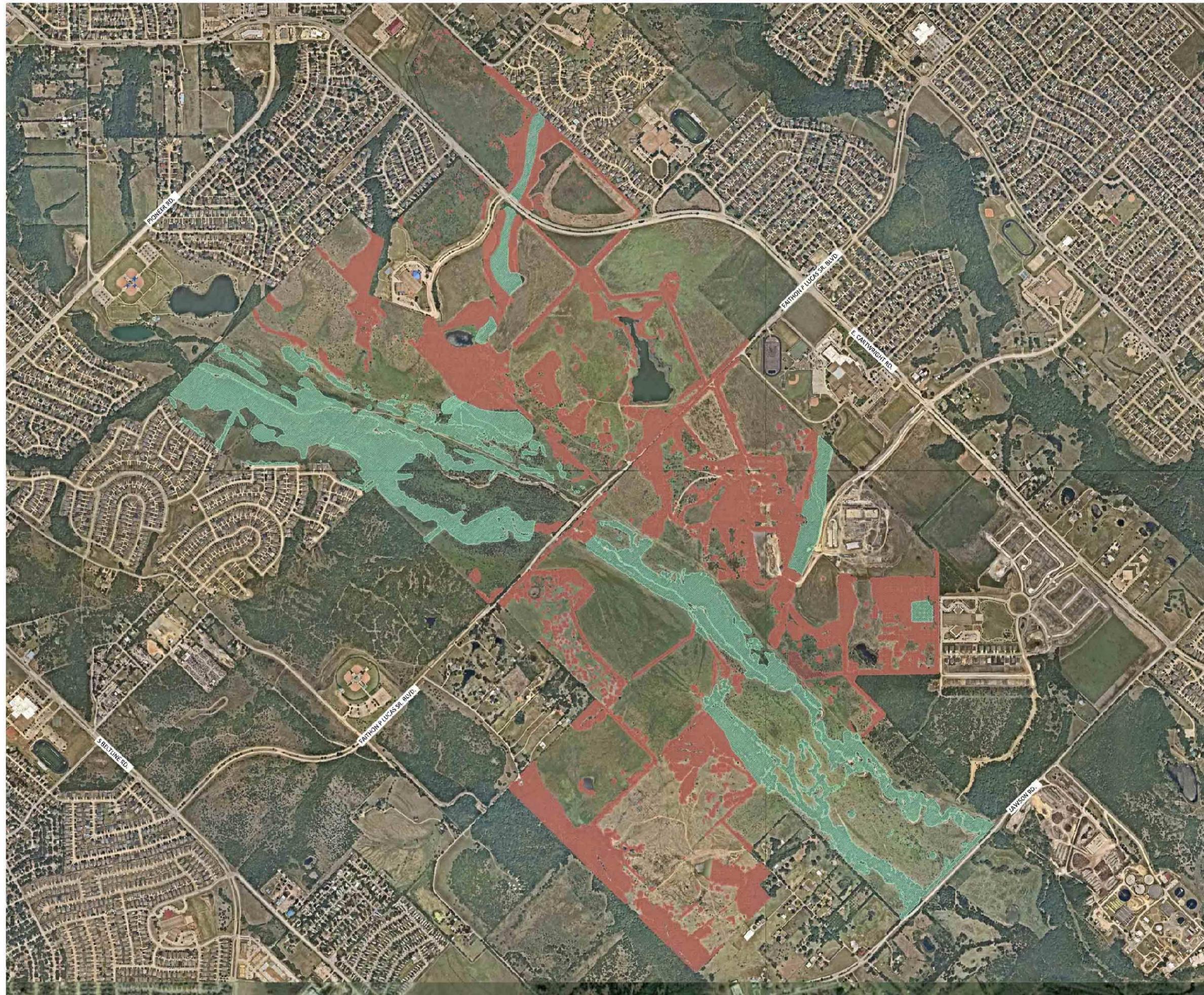
- Exterior colors may not be the same side by side, or in direct line of sight, regardless of plan or elevation. Direct line of sight refers to the 3 lots directly across the street.

EXHIBIT H - TREE PRESERVATION



TREE SUMMARY TABLE

CATEGORY	SF	%
EXISTING TREE CANOPY TO REMAIN	10,848,134	40%
EXISTING TREE CANOPY TO BE REMOVED	16,475,387	60%
TOTAL EXISTING TREE CANOPY	27,323,521	100%



Tree Preservation Exhibit for Solterra

PLANNER: Thomas Meurer



Planning & Landscape Architecture

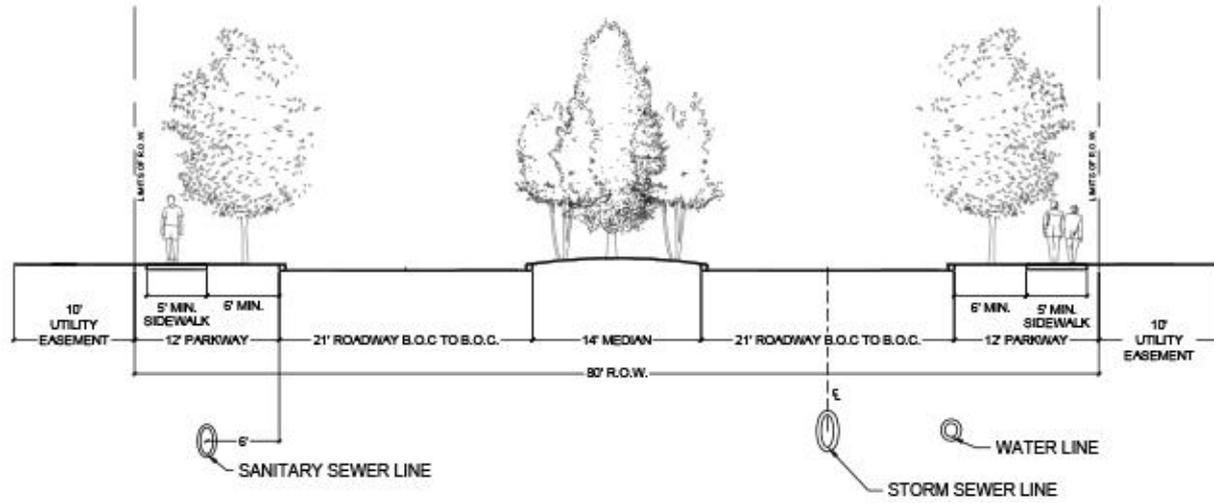
Land Use/Master Planning
 Land Use/Feasibility Studies
 Sustainable Design
 Urban Design
 Landscape Architecture

3150 South Central Expressway
 Suite 303 McKinney, Texas 75070
 P 214.620.2741

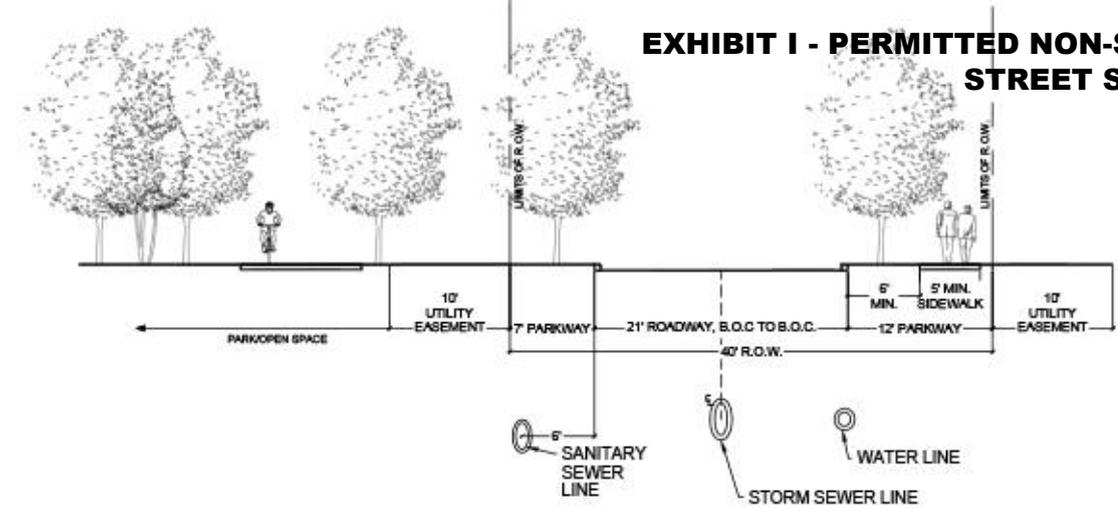
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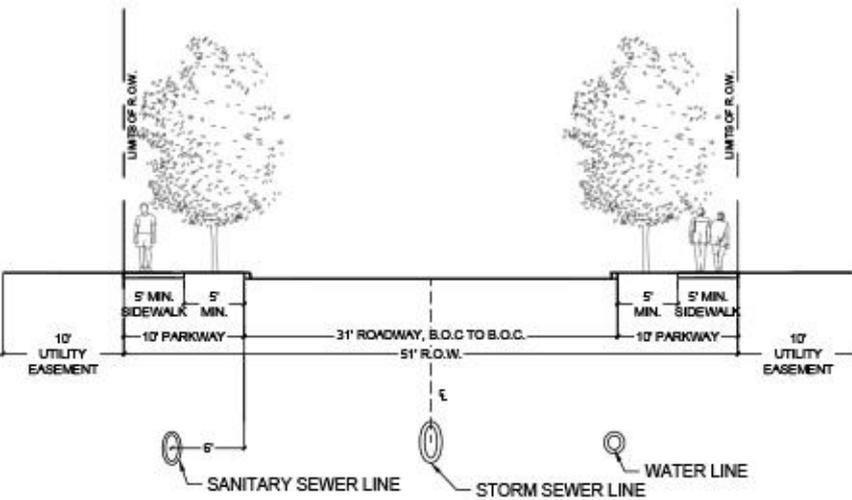
EXHIBIT I - PERMITTED NON-STANDRD STREET SECTIONS



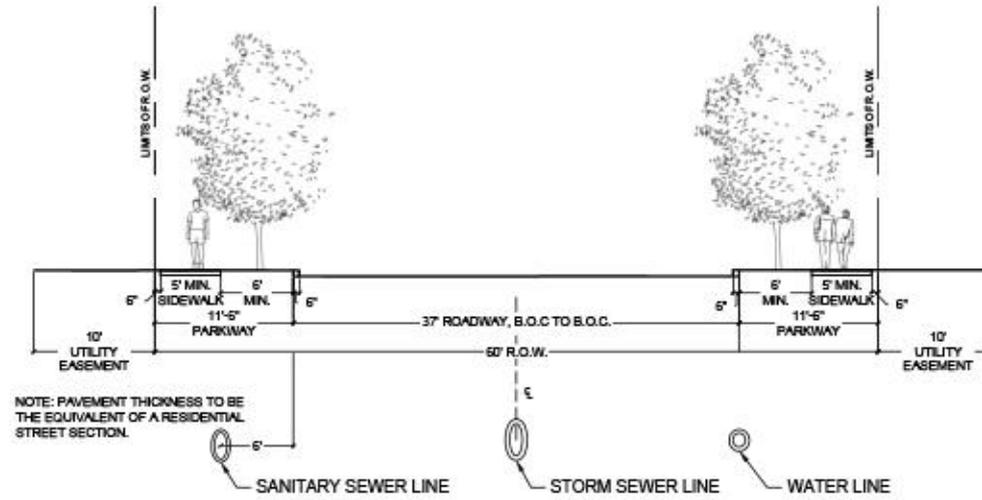
80' R.O.W. - BOULEVARD STREET SECTION



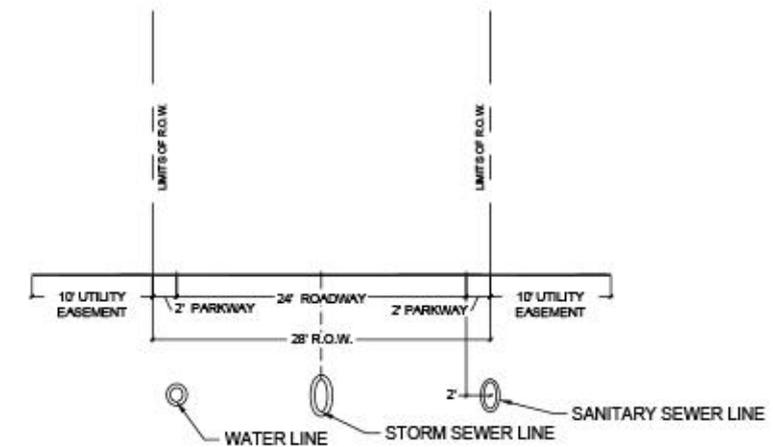
40' R.O.W. - ONE WAY STREET SECTION



51' R.O.W. - RESIDENTIAL STREET SECTION



60' R.O.W. - RESIDENTIAL STREET SECTION



28' MEWS R.O.W. SECTION