



**PLANNING AND ZONING COMMISSION MEETING
TRAINING ROOMS A & B
757 North Galloway Avenue
Mesquite, Texas
July 13, 2020 - 7:00 P.M.
MEETING PARTICIPATION INSTRUCTIONS**

In accordance with the Governor's suspension of various provisions of the Texas Open Meetings Act issued pursuant to his state disaster authority, and guidance issued on the suspension by the Attorney General's Office:

1. A quorum of the Planning and Zoning Commission will participate in the meeting by telephone or by being physically present at the meeting location.
2. Members of the public, applicants and interested parties may attend the meeting in person or participate by telephone conference.
3. All persons present at the meeting location must observe social distancing by remaining a minimum of six (6) feet from other meeting participants and are strongly encouraged to wear a covering over their nose and mouth.
4. Applicants and/or members of the public desiring to participate in the meeting by telephone conference may do so by dialing the following local number on Monday, July 13, 2020, before, at, or after 7:00 p.m. central time.

Telephone Conference Number: 214-396-6338
Participation Code (Meeting Id): 177-6111

Persons may INCREASE their listening volume by pressing *86.
Persons may DECREASE their listening volume by pressing *87.

Repeat as necessary to incrementally increase or decrease the listening volume.

Persons may press *5 to be recognized to speak during the public comment or public hearing portion of the meeting.

5. The meeting will be audible to all in-person and telephone participants and will allow for their two-way communication. Comments may be made during the meeting upon recognition by the Chairperson or may be made in writing before 3:00 p.m. on July 13, 2020, to the following email address: glangford@cityofmesquite.com.
6. An electronic copy of the agenda packet will be posted online at the City of Mesquite's website (www.cityofmesquite.com).

The meeting will be recorded and made available to the public.

AGENDA

Pursuant to Section 551.071 of the *Texas Government Code*, the Planning and Zoning Commission may meet in a closed executive session to consult with the City Attorney regarding matters authorized by Section 551.071, including matters posted on this Agenda.

COMMISSION BUSINESS

1. ROLL CALL.
2. INSTRUCTIONS.
City staff shall give verbal instructions for participation in the meeting.

PUBLIC COMMENTS

3. Any individual desiring to address the Planning and Zoning Commission regarding an item on the CONSENT AGENDA shall do so on a first-come, first-served basis. Comments are limited to three (3) minutes, except for a speaker addressing the Planning and Zoning Commission through a translator will be allowed six (6) minutes.

CONSENT AGENDA

All items on the Consent Agenda are routine items and may be approved with one motion; however, should any member of the Planning and Zoning Commission or any individual wish to discuss any item, said item may be removed from the Consent Agenda by a motion of the Planning and Zoning Commission.

4. MINUTES.
Discuss and consider approval of the minutes for June 22, 2020, Planning and Zoning Commission.
5. PD SITE PLAN APPLICATION No. SP0620-0157
Consider a PD Site Plan submitted by Barraza Consulting Group on behalf of DR Horton, for Trailwind Phase 2, a 240-lot single-family subdivision generally located between IH-20 and Heartland Parkway.

PUBLIC HEARINGS

The City Council may approve a different zoning district than the one requested, except that the different district will not: (1) have a maximum structure height or density that is higher than the one requested; or (2) change the uses to solely nonresidential uses when the request is for solely residential uses or vice versa.

6. ZONING APPLICATION No. Z0520-0140
Conduct a public hearing and consider Zoning Application No. Z0520-0140 submitted by DBS Construction Support on behalf of Tram Hoang for a Zoning Change from Commercial to Commercial with a Conditional Use Permit to allow the sale and outdoor display of used farm equipment, located at 4340 IH 30. (**Tabled from the June 8, 2020, Planning and Zoning Commission meeting.**)
7. COMPREHENSIVE PLAN MAP AMENDMENT No. 2020-01.
Consider an amendment to the Mesquite Comprehensive Plan that would change the future land use designation from Commercial to High-Density Residential for property located at 521, 623, 655, 699, 761, & 891 E. US Highway 80.

8. ZONING APPLICATION No. Z0220-0132
Conduct a public hearing and consider Zoning Application No. Z0220-0132 submitted by Mariposa Mesquite, LP, for a Zoning Change from Commercial to Planned Development – Multifamily to allow a 180 unit, age-restricted multifamily development located, located at 521, 623, 655, 699, 761, & 891 E. US Highway 80.
9. ZONING APPLICATION No. Z0620-0142
Conduct a public hearing and consider Zoning Application No. Z0620-0142 submitted by MM Mesquite 50, LLC., for a Zoning Change to amend Planned Development Ordinance No. 4595 to allow an amenity center, a convenience store with fuel sales and modify the screening wall requirements, generally located south of W. Sycene Road and west of Rodeo Center Blvd.

DIRECTOR’S REPORT

10. DIRECTOR’S REPORT.
Director’s Report on recent City Council action taken on zoning items at their meeting on July 6, 2020.
11. DIRECTOR’S REPORT.
Briefing on the Solterra Development.

[NOTE: Commission action, *if any*, shall not be taken regarding the Director’s Report until Public Comments have been received.]

PUBLIC COMMENTS

12. Any individual desiring to address the Planning and Zoning Commission regarding the DIRECTOR’S REPORT or ANY OTHER MATTER not listed on the Agenda shall be allowed to speak for a length of time not to exceed three (3) minutes on a first-come, first-served basis. Citizens addressing the Planning and Zoning Commission through a translator will be allowed six (6) minutes.

At the conclusion of business, the Chair shall adjourn the meeting.

Pursuant to Section 30.06, Penal Code (trespass by license holder with a concealed handgun), a person licensed under Subchapter H, Chapter 411, Government Code (handgun licensing law), may not enter this property with a concealed handgun.

Conforme a la Sección 30.06 del Código Penal (entrada ilegal de persona titular de licencia con arma de fuego oculta), personas con licencia segun el Sub- capitulo H, Capitulo 411, Código de Gobierno (ley de permiso para portar arma de fuego), no deben entrar a esta propiedad portando un arma de fuego oculta.

Pursuant to Section 30.07, Penal Code (trespass by license holder with an openly carried handgun), a person licensed under Subchapter H, Chapter 411, Government Code (handgun licensing law), may not enter this property with a handgun that is carried openly.

Conforme a la Sección 30.07 del Código Penal (entrada ilegal de persona titular de licencia con arma de fuego a la vista), personas con licencia segun el Sub- capitulo H, Capitulo 411, Código de Gobierno (ley de permiso para portar arma de fuego), no deben entrar a esta propiedad portando una arma de fuego a la vista.

Pursuant to Section 551.007 (c) of the Texas Government Code any member of the public wishing to address the Planning and Zoning Commission through the use of a translator is granted at least twice the amount of time as a member of the public who does not require the assistance of a translator.

Conforme a la Sección 551.007 (c) del Código de Gobierno de Texas, cualquier miembro del público que desea dirigirse a la Comisión través del uso de un traductor se le otorga al menos el doble de tiempo como miembro del público que no requiere la asistencia de un

traductor.

CERTIFICATE

I, Garrett Langford, Manager of Planning and Zoning for the City of Mesquite, Texas, hereby certify that the attached Agenda for the Planning and Zoning Commission meeting to be held July 13, 2020, was posted on the bulletin boards at the Municipal Center and City Hall by July 10, 2020, before 6:00 p.m. and remained so posted until after the meeting. This notice was likewise posted on the City's website at www.cityofmesquite.com for a minimum of 72 hours prior to the meeting.



Garrett Langford, AICP
Manager of Planning and Zoning
City of Mesquite, Texas

**MINUTES OF THE PLANNING AND ZONING COMMISSION MEETING, HELD AT
7:00 P.M., JUNE 22, 2020, 757 NORTH GALLOWAY AVENUE, MESQUITE, TEXAS**

Present: Chairwoman Yolanda Shepard, Vice-Chair David Gustof, Ronald Abraham, Sherry Williams, Debbie Anderson, Sheila Lynn

Absent: Claude McBride, Alternate Mildred Arnold

Staff: Director of Planning & Development Services Jeff Armstrong, Manager of Planning & Zoning Garrett Langford, Principle Planner Johnna Matthews, Planner Lesley Frohberg, Planner John Chapman, City Attorney David Paschall

COMMISSION BUSINESS

1. ROLL CALL

Manager of Planning & Zoning Garrett Langford called on each Commissioner for the record. Chairwoman Shepard called the meeting to order and declared a quorum present.

2. INSTRUCTIONS

Mr. Langford gave verbal instructions for participation in the meeting.

3. PUBLIC COMMENTS.

There were no public comments.

CONSENT AGENDA

4. MINUTES.

Discuss and consider approval of the minutes for June 8, 2020, Planning and Zoning Commission.

5. Consider Application No. PL0518-0070 submitted by Westwood Professional Services, Inc. on behalf of Bloomfield Homes, L.P., for Hagan Hill Phase 3, a 102-lot single-family subdivision generally located at Shannon Loop and Lumley Road.

Chairwoman Shepard opened the public hearing for the consent agenda. No one came in person or by conference call to speak. Chairwoman Shepard closed the public hearing. A motion was made by Ms. Williams to approve the consent agenda. Mr. Abraham seconded. The motion passed 6-0.

PUBLIC HEARINGS

6. ZONING APPLICATION No. Z0620-0141.

Conduct a public hearing and consider Zoning Application No. Z0620-0141 submitted by the City of Mesquite for a Zoning Change from Agricultural to Planned Development – Agricultural to allow a residential subdivision, generally located southwest of FM 2932 and County Road 214.

Planner John Chapman briefed the Commission. There were no questions for Staff. Chairwoman Shepard opened the public hearing. No one came to speak either in person or by conference call. Chairwoman Shepard closed the public hearing. A motion was made by Ms. Anderson to approve. Mr. Gustof seconded. The motion passed 6-0.

7. ZONING TEXT AMENDMENT No. 2020-04.

Conduct a public hearing and consider zoning text amendments to Mesquite Zoning Ordinance, Section 3-203, Schedule of Permitted Uses; Section 3-508, Reception Facilities; Section 6-102, Definitions; all pertaining to new and revised regulations for major reception facilities, minor reception facilities, and accessory reception facilities. Planner Lesley Frohberg briefed the Commission. Ms. Frohberg explained that there are 2 options for the Commissioners to consider. Staff recommends the text amendment in Option 1. There was a discussion between Staff and the Commissioners regarding the security guard requirements. Chairwoman Shepard opened the public hearing. No one spoke either in person or by phone. Chairwoman closed the public hearing. A motion was made by Mr. Gustof to approve Option 1 with the addition of Section 3-508.A.3, as proposed in Option 2. Ms. Williams seconded. The motion passed 6-0

8. ZONING TEXT AMENDMENT No. 2020-05.

Conduct a public hearing and consider zoning text amendments to Mesquite Zoning Ordinance, Section 3-203, Schedule of Permitted Uses; Section 3-507, Coin-Operated Amusement Devices, Section 6-102, Definitions; all pertaining to new and revised regulations for amusement devices, game machines, video games, and similar devices. Manager of Planning & Zoning Garrett Langford briefed the Commissioners and requested this case be postponed to July 27, 2020, to allow Planning and Legal staff to review the matter. A motion was made by Ms. Anderson to postpone until the July 27, 2020, meeting. Mr. Abraham seconded. The motion passed 6-0.

DIRECTOR'S REPORT

9. DIRECTOR'S REPORT.

Director's Report on recent City Council action taken on zoning items at their meeting on June 15, 2020.

Director of Planning and Development Services Jeff Armstrong briefed the Commission. The City Council took the following Zoning actions;

1. Application No. Z0420-0134 for a change of zoning from Agricultural to Planned Development - Industrial to allow an industrial business park, located at 12955 FM 2932 was approved by Ordinance No. 4785 with modifications.
2. Application No. Z0420-0137 for a change of zoning from Commercial to Planned Development - General Retail to allow a convenience store and fueling station, located at 2110 North Town East Boulevard was approved by Ordinance No. 4786 with modifications.
3. Application No. Z0420-0138 amending the stipulations for a Conditional Use Permit approved by Ordinance No. 4714 on property currently zoned Commercial with a Conditional Use Permit, located at 2533 Westwood Avenue, regarding a screening wall for a primary outdoor storage yard was approved by Ordinance No. 4787 with modifications.
4. Zoning Text Amendment No. 2020-01 to Mesquite Zoning Ordinance, Section 1-600, Temporary Uses and Structures, Permitted Temporary Uses and Structures; Subsection (C) currently titled "Temporary Batch Plant" to be retitled "Temporary Batch Plants and Temporary Material Stockpile Sites" pertaining to new and revised

regulations for temporary batch plants and temporary material stockpile sites and amending Appendix D of the City Code regarding the comprehensive fee schedule was approved by Ordinance No. 4788 with modifications.

5. Zoning Text Amendment No. 2020-03 to Mesquite Zoning Ordinance, Section 5-200, currently titled “Appeal, Variance, and Special Exception Procedures” to be retitled “Special Exceptions, Variances, and Appeals of Administrative Decisions”; pertaining to new and revised regulations and procedures for special exceptions, variances, and appeals of administrative decisions and establishment of associated fees and amending Appendix D of the City Code regarding the comprehensive fee schedule was approved by Ordinance No. 4789.

PUBLIC COMMENTS

10. **Any individual desiring to address the Planning and Zoning Commission regarding the DIRECTOR’S REPORT or ANY OTHER MATTER not listed on the Agenda shall be allowed to speak for a length of time not to exceed three (3) minutes on a first-come, first-served basis. Citizens addressing the Planning and Zoning Commission through a translator will be allowed six (6) minutes.**

There were no public comments.

Chairwoman Shepard called the meeting adjourned at 7:38 P.M.

Chairwoman Yolanda Shepard



T E X A S

Real. Texas. Service.

PLANNING AND ZONING DIVISION

FILE NUMBER: SP0620-0157
REQUEST FOR: PD Site Plan
CASE MANAGER: Garrett Langford, Manager of Planning and Zoning

PUBLIC HEARINGS

Planning and Zoning Commission: Monday, July 13, 2020

GENERAL INFORMATION

Applicant: Barraza Consulting Group on behalf of DR Horton
Requested Action: Site Plan of Trailwind Phase 2 (240 Residential Lots)
Location: Generally located between IH-20 and Heartland Parkway.

SITE BACKGROUND

Size: 68.991 +/- acres
Zoning: Planned Development – Single Family Residential No. 4625
Future Land Use: Low-Density Residential

Table with 2 columns: ZONING and LAND USE. Rows include NORTH, SOUTH, EAST, and WEST with corresponding zoning and land use descriptions.

CASE SUMMARY

City staff typically approve site plans. However, the Mesquite Zoning Ordinance requires that the Planning and Zoning Commission approve Planned Development (PD) Site Plans for projects of ten acres or more. This proposed PD Site Plan is Phase 2 of a single-family subdivision known as Trailwind consisting of 240 lots. The Commission approved PD Site Plan Phase 1, which included 210 lots, in 2019.

CONCLUSIONS

ANALYSIS

The applicant is seeking approval of the PD Site Plan for the Trailwind Phase 2 Addition, a 68-acre proposed single-family development. As depicted on the site plan, Trailwind Phase will include a total of 240 single-family lots and four HOA lots. The proposed PD Site Plan meets the minimum requirements of the Planned Development Ordinance No. 4625 approved by City Council in 2018.

RECOMMENDATIONS

Staff recommends the Planning and Zoning Commission approve the PD Site Plan for Trailwind Phase 2.

ATTACHMENTS

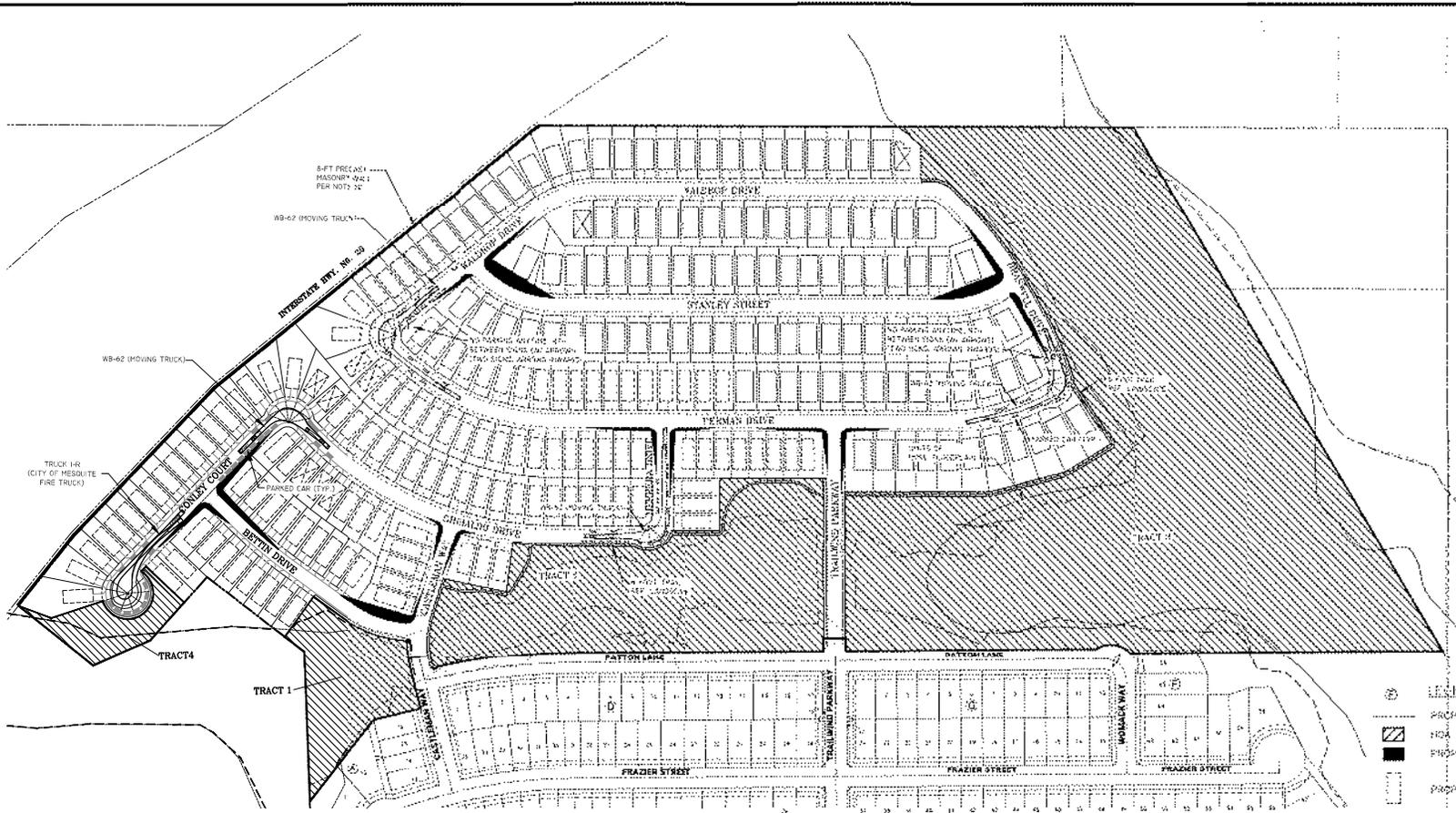
1. Aerial Map
2. PD Site Plan

Aerial Map



Trailwind Phase 2

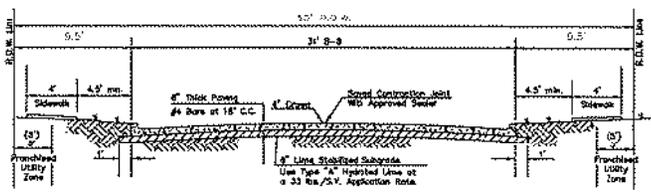




- NOTES:**
1. SIDEWALKS ALONG HOA OWNED LOTS AND ALL ADA RAMPS ARE TO BE INSTALLED AND INSPECTED BY ENGINEERING AT TIME OF INFRASTRUCTURE AND ROADWAY INSTALLATION.
 2. GENERAL DESIGN STANDARDS:
 - A. SIDEWALKS ALONG THE INDIVIDUAL LOT FRONTAGES WILL BE INSTALLED AT THE TIME OF HOME CONSTRUCTION.
 - B. FOR SINGLE-FAMILY LOTS, AND PRIOR TO ANY OCCUPANCY OF THE DWELLING, A MINIMUM OF TWO (2) TREES WITH A MINIMUM CALIPER OF THREE INCHES (3") MEASURED AT A POINT SIX INCHES (6") ABOVE GROUND LEVEL SHALL BE REQUIRED FOR ALL LOTS AND SHALL BE LOCATED IN THE FRONT YARD ON ALL LOTS.
 - C. FENCING FOR ALL RESIDENTIAL LOTS SHALL BE A MINIMUM OF SIX FEET (6') AND A MAXIMUM OF EIGHT FEET (8'), BOARD-ON-BOARD, PRE-STAINED SPRUCE OR BETTER FENCE WITH STEEL POSTS MOUNTED ON THE INSIDE SO AS NOT TO BE VISIBLE FROM THE STREET. ALL LOTS BACKING TO ANY GREENBELT AREA, OPEN SPACE OR PARK SHALL REQUIRE A STANDARD HEIGHT OF FIVE FEET (5') ORNAMENTAL METAL FENCING ACROSS THE BACK OF THE LOT ONLY. GATES IN RESIDENTIAL FENCING TO PUBLIC SPACES SHALL BE PROHIBITED.
 - D. LONG-SPAN PRECAST CONCRETE DECORATIVE SCREENING WALL, EIGHT (8) FEET IN HEIGHT, IN EARTH TONE COLOR, SHALL BE ERRECTED ON ALONG IH-20. SUCH WALL SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY'S GENERAL DESIGN STANDARDS, DATED FEBRUARY 5, 2015, AS AMENDED.
 3. NO SIGNALIZED INTERSECTIONS ARE LOCATED WITHIN A 1 MILE RADIUS OF SITE.

- NOTE:**
1. Any revision to the plan will require City approval and may require revisions to any corresponding plans to avoid conflicts between plans.
 2. Designers and their consultants shall be screened in accordance with the applicable zoning ordinance and engineering design statutes.
 3. Outdoor lighting shall comply with the lighting and glare standards contained within the applicable zoning ordinance.
 4. Fire trucks shall be equipped with conventional per City standards or as directed by the Fire Marshal.
 5. Speed bumps/trumps are not permitted within a fire lane.
 6. Handicapped parking spaces and parking materials shall conform to the Americans with Disabilities Act (ADA), Texas Accessibility Standards and with the requirements of the current, adopted Building Code.
 7. Any/all signage is subject to final approval under separate application/permit by the Building Official or designee.
 8. All fences and retaining walls shall be shown on the site plan and are subject to Building Official approval.
 9. All exterior building materials are subject to Building Official approval and shall conform to the approved Facade/Cladding Schedule Plan.
 10. All new utility lines shall be installed any/or relocated underground.
 11. All mechanical equipment shall be screened from public view in accordance with the Mesquite Zoning Ordinance and Community Appearance Manual.

- LEGEND**
- PROPOSED RIGHT OF WAY
 - HOA OWNED AND MAINTAINED AREA
 - PROPOSED LINE-OF-SIGHT TRAVEL
 - PROPOSED 20' LOT
 - PROPOSED 30' LOT
 - PROPOSED NON-SIGNALIZED LOT



TYPICAL 31" B-B PAVEMENT SECTION
NOT TO SCALE

OPEN AREA REQUIREMENTS:
 OPEN AREA (HOA) 20.77 ACRES
 INDIVIDUAL LOT AREA 40.01 ACRES
 RESIDENT HOA/INDIVIDUAL = 21.88 AC
 FEMA Floodable Area 18.34 ac
 240 SINGLE FAMILY UNITS
 CASE # 20225-0257

<p>SITE PLAN</p> <p>4000 HEARTLAND PKWY</p> <p>TRAILWIND PHASE 2</p> <p>CITY OF MESQUITE, KAUFMAN COUNTY, TEXAS</p>	
<p>BARRAZA CONSULTING GROUP, LLC</p> <p>10000 W. HAWTHORNE AVE. SUITE 100 DALLAS, TEXAS 75241 TEL: 972.382.1111 WWW.BARRAZACONSULTINGGROUP.COM</p>	<p>D.R. HORTON</p> <p>America's Builder</p>
<p>DATE: _____</p> <p>SCALE: _____</p> <p>REVISION: _____</p> <p>REVISION: _____</p>	<p>1.0</p>

S:\2022\202207-02_Trialwind Phase 2\CAD\04-BARRAZA_SHEET\DWG\02-SP-01.dwg Thursday, July 7, 2023 11:39:24 AM



LEGEND

- TREES TO REMAIN
LOCATION PER INTEGRATED ENVIRONMENTAL SOLUTIONS, LLC S. FIELD DATE 10/2/18 & 10/3/18
- ✕ TREES TO BE REMOVED
LOCATION PER INTEGRATED ENVIRONMENTAL SOLUTIONS, LLC S. FIELD DATE 10/2/18 & 10/3/18
- 166 TREE IDENTIFICATION NUMBER PER IES, LLC TREE SURVEY
- TREE SURVEY LIMITS

TREE SURVEY NOTES:

1. TREE LOCATIONS PROVIDED BY INTEGRATED ENVIRONMENTAL SOLUTIONS, LLC ON 10/10/2018. FIELD DATA COLLECTED 10/2/18 AND 10/3/18.
2. BASED ON SIZE AND CATEGORY OF TREE, ALL TREES IN THE AREA OF DISTURBANCE THAT MEET THE REQUIREMENTS FOR BEING PROTECTED BY THE CITY OF MESQUITE ARE SHOWN ON THIS PLAN. THERE ARE ADDITIONAL TREES IN THE AREA THAT WILL BE DISTURBED BY CONSTRUCTION ACTIVITIES, HOWEVER THEY DO NOT MEET THE CITY OF MESQUITE'S REQUIREMENTS FOR PROTECTION.
3. SURVEY PERFORMED BY/UNDER DIRECTION OF RUDI REINECKE, ISA CERTIFIED ARBORIST #180433.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF MESQUITE, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN



NO.	DATE	REVISION

THIS DOCUMENT IS NOT VALID FOR REVIEW PURPOSES ONLY UNLESS APPROVED BY INTEGRATED ENVIRONMENTAL SOLUTIONS, LLC. DATE OF APPROVAL: 10/2/18

TREE SURVEY PLAN
TREE SURVEY (1 OF 2)
TRAILWIND PHASE 2
CITY OF MESQUITE, KAUFMAN COUNTY, TEXAS

BARRAZA
CONSULTING GROUP, LLC
1000 W. UNIVERSITY BLVD., SUITE 1000
DALLAS, TX 75208
TEL: 214.416.1111

D-R-HORTON
American's Best Arborist
1000 W. UNIVERSITY BLVD., SUITE 1000
DALLAS, TX 75208
TEL: 214.416.1111

DATE	SCALE
11/21/2019	
DESIGN	CHECKED
TJH	MC

S:\2019\201907-02 Trailwind Phase 2\CAD\06-BASE_SHEET\DWG_02_T1-01.dwg
 Monday, June 8, 2020 9:14:18 AM

EVERGREEN TREES (PLANT HEIGHT >= 8')

Tree Number	To Be Removed	Tree Species	General Condition	Plant Height (ft)
40		Eastern Red Cedar	Healthy	10
44		Eastern Red Cedar	Healthy	15
45		Eastern Red Cedar	Healthy	12
47	X	Eastern Red Cedar	Healthy	12
48		Eastern Red Cedar	Healthy	8
49		Eastern Red Cedar	Healthy	10
70		Eastern Red Cedar	Healthy	15
71		Eastern Red Cedar	Healthy	9
72		Eastern Red Cedar	Healthy	17
73		Eastern Red Cedar	Healthy	10
74		Eastern Red Cedar	Healthy	10
75		Eastern Red Cedar	Healthy	9
76		Eastern Red Cedar	Healthy	12
77		Eastern Red Cedar	Healthy	11
78		Eastern Red Cedar	Healthy	11
79		Eastern Red Cedar	Healthy	19
80		Eastern Red Cedar	Healthy	16
81		Eastern Red Cedar	Healthy	15
82		Eastern Red Cedar	Healthy	8
83		Eastern Red Cedar	Healthy	12
84		Eastern Red Cedar	Healthy	11
85		Eastern Red Cedar	Healthy	16
86		Eastern Red Cedar	Healthy	16
87		Eastern Red Cedar	Healthy	14
88		Eastern Red Cedar	Healthy	15
89		Eastern Red Cedar	Healthy	9
90		Eastern Red Cedar	Healthy	17
91		Eastern Red Cedar	Healthy	14
92		Eastern Red Cedar	Healthy	15
93		Eastern Red Cedar	Healthy	15
94		Eastern Red Cedar	Healthy	11
95		Eastern Red Cedar	Healthy	10
96		Eastern Red Cedar	Healthy	10
97		Eastern Red Cedar	Healthy	11
98	X	Eastern Red Cedar	Healthy	15
99	X	Eastern Red Cedar	Healthy	14
100	X	Eastern Red Cedar	Healthy	18
101		Eastern Red Cedar	Healthy	12
102	X	Eastern Red Cedar	Healthy	18
103	X	Eastern Red Cedar	Healthy	13
104	X	Eastern Red Cedar	Healthy	8
105	X	Eastern Red Cedar	Healthy	8
106	X	Eastern Red Cedar	Healthy	13
107	X	Eastern Red Cedar	Healthy	12
108	X	Eastern Red Cedar	Healthy	13
109	X	Eastern Red Cedar	Healthy	9
110	X	Eastern Red Cedar	Healthy	10
112	X	Eastern Red Cedar	Healthy	12
113		Eastern Red Cedar	Healthy	10
114		Eastern Red Cedar	Healthy	12
115		Eastern Red Cedar	Healthy	11
116	X	Eastern Red Cedar	Healthy	11
200	X	Eastern Red Cedar	Healthy	12
201	X	Eastern Red Cedar	Healthy	12
202	X	Eastern Red Cedar	Healthy	13

DECIDUOUS TREES (DIAMETER BREAST HEIGHT >= 6")

Tree Number	To Be Removed	Tree Species	Diameter Breast Height Inches (DBH Inches)	Canopy Radius (Feet)	Multiple Trunks	General Condition	% Dead Branches	Lean	Dead / Missing Bark	Sawwood Damage / Decay
111	X	Cedar Elm	6.1	7	No	Healthy	0		0140	
113	X	Cedar Elm	5.2	9	No	Healthy	0		0140	
114	X	Cedar Elm	8.5	9	No	Healthy	0		0140	
115	X	Cedar Elm	12.9	13	No	Healthy	0		0140	
116	X	Cedar Elm	6.0	7	No	Healthy	0		0140	
117	X	Cedar Elm	6.5	8	No	Healthy	0		0140	
118	X	Cedar Elm	7.2	8	No	Healthy	0		0140	
119	X	Cedar Elm	6.0	7	No	Healthy	0		0140	
120	X	Cedar Elm	6.8	11	No	Healthy	0		0140	
141	X	Cedar Elm	7.1	6	No	Damaged	30		0140	
145	X	Cedar Elm	8.8	7	No	Damaged	30		0140	
147	X	Osage-orange	15.4	12	No	Damaged	40		0140	Trunk Trunk
148	X	Cedar Elm	6.0	8	No	Healthy	0		0140	
149	X	Cedar Elm	7.3	6	No	Healthy	0		0140	
200	X	Cedar Elm	6.6	8	No	Healthy	0		0140	
201	X	Cedar Elm	6.4	8	No	Healthy	0		0140	
202	X	Cedar Elm	10.2	8	No	Healthy	0		0140	
203	X	Cedar Elm	12.0	8	No	Healthy	0		0140	
204	X	Cedar Elm	6.9	6	No	Healthy	0		0140	
205	X	Cedar Elm	7.7	6	No	Healthy	0		0140	
206	X	Cedar Elm	10.4	10	Yes	Healthy	0		0140	

TREE MITIGATION:
191.0 CALIPER INCHES
223 FEET

DEVELOPER IS PLANTING 64 TOTAL 3" CALIPER TREES ON SITE (182.00 CALIPER INCHES)

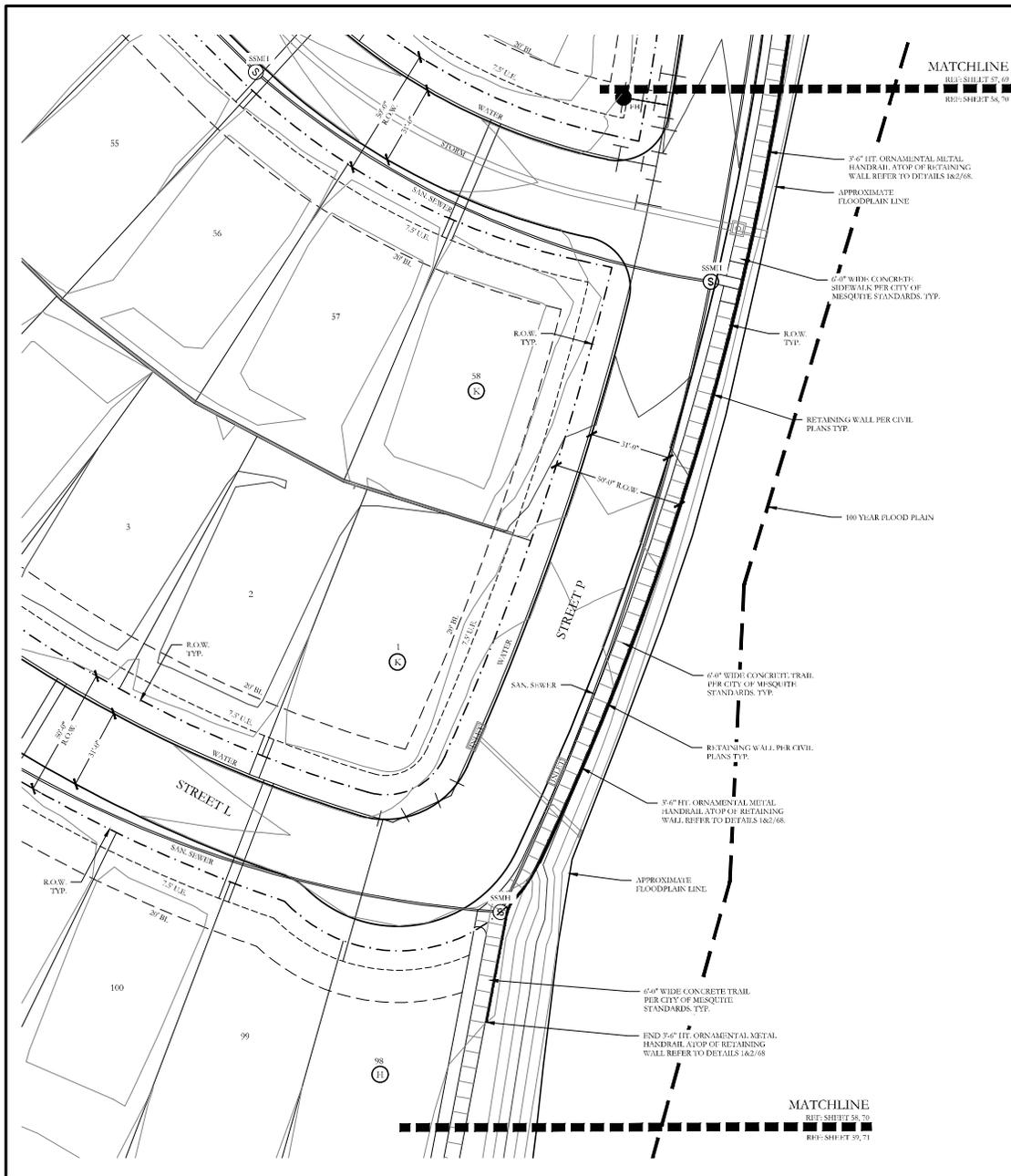
EACH PRIVATE LOT SHALL HAVE PLANTED 2 EACH 3 INCH CALIPER TREES PURSUANT TO Z1018-0089. THIS TOTALS 480 TREES IN PHASE 1 (1,440 CALIPER INCHES)

DATE		SCALE	
11/27/2019			
DESIGN	TJH	CHECKED	MC
<p>TREE LIST</p> <p>TREE SURVEY (2 OF 2)</p> <p>TRAILWIND PHASE 2</p> <p>CITY OF MESQUITE, KAUFMAN COUNTY, TEXAS</p>			
<p>THIS DOCUMENT IS NOT VALID FOR REVIEW PURPOSES ONLY. IT IS THE PROPERTY OF BARRAZA CONSULTING GROUP, LLC. ANY REUSE OR DISTRIBUTION WITHOUT THE WRITTEN PERMISSION OF BARRAZA CONSULTING GROUP, LLC IS STRICTLY PROHIBITED.</p>			
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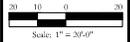
SCREENING AND BUFFERING
 Overall Layout Plan
 Trailwind Phase II
 City of Mesquite, Kaufman County, Texas

CJS PROJECT NO.	HOR006A
SHEET NO.	56



HARDSCAPE LEGEND	
	8'-0" HT. PRE-CAST CONCRETE SCREENING WALL REFER TO SHEET 56&8.
	8'-0" HT. PRE-CAST CONCRETE SCREENING WALL REFER TO SHEET 56&8.
	3'-6" HT. ORNAMENTAL METAL HANDRAIL REFER TO DETAILS 1&2/68.

NOTE: REFER TO CIVIL ENGINEERING PLANS FOR SIDEWALK AND BARRIER TRAIL RAMP ALIGNMENT AND DETAILS.

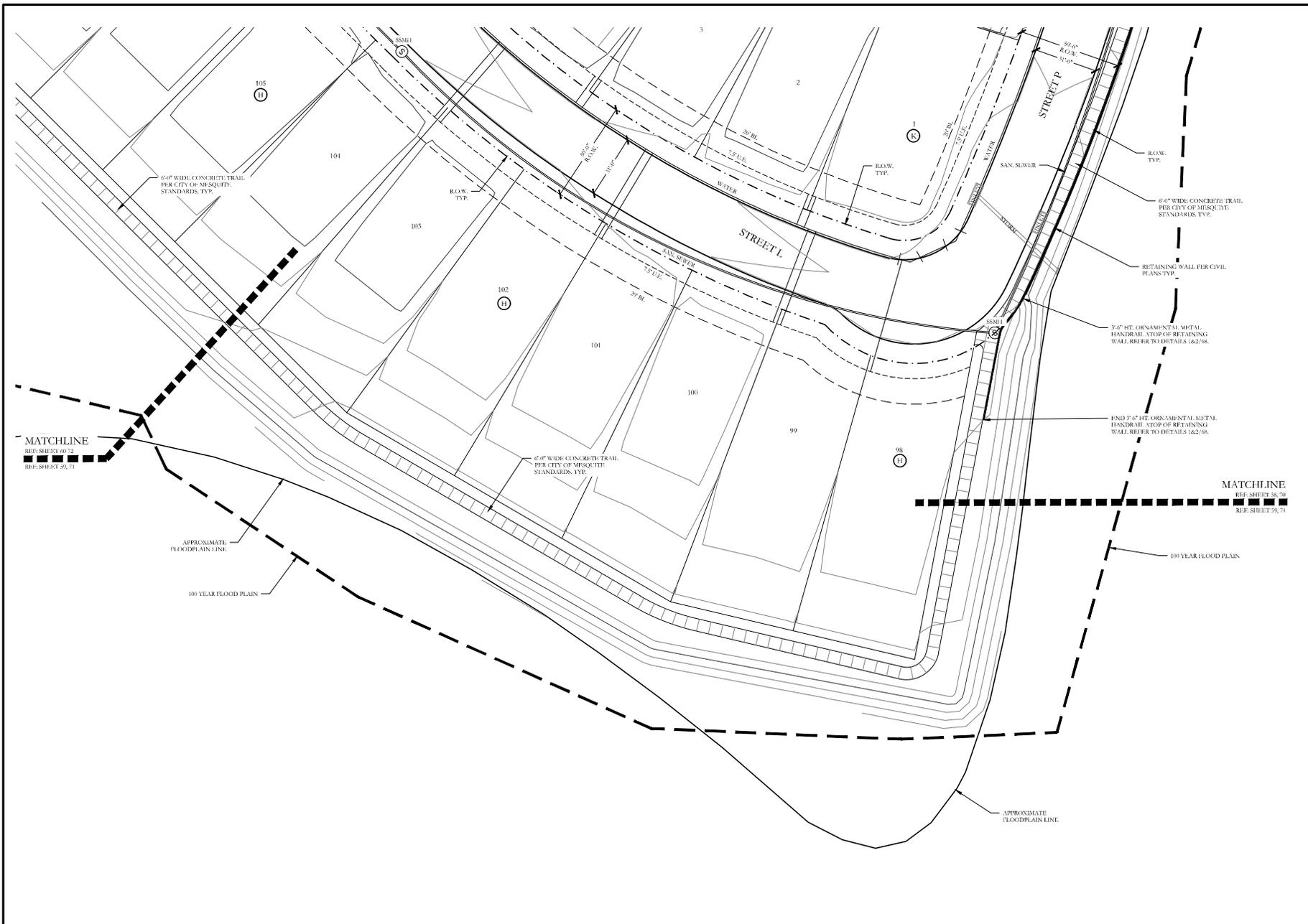


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One Inch

SCREENING AND BUFFERING
Hardscape Plans
Trailwind Phase II
City of Mesquite, Kaufman County, Texas

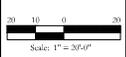
CJS PROJECT NO.
HOR006A

SHEET NO.
58



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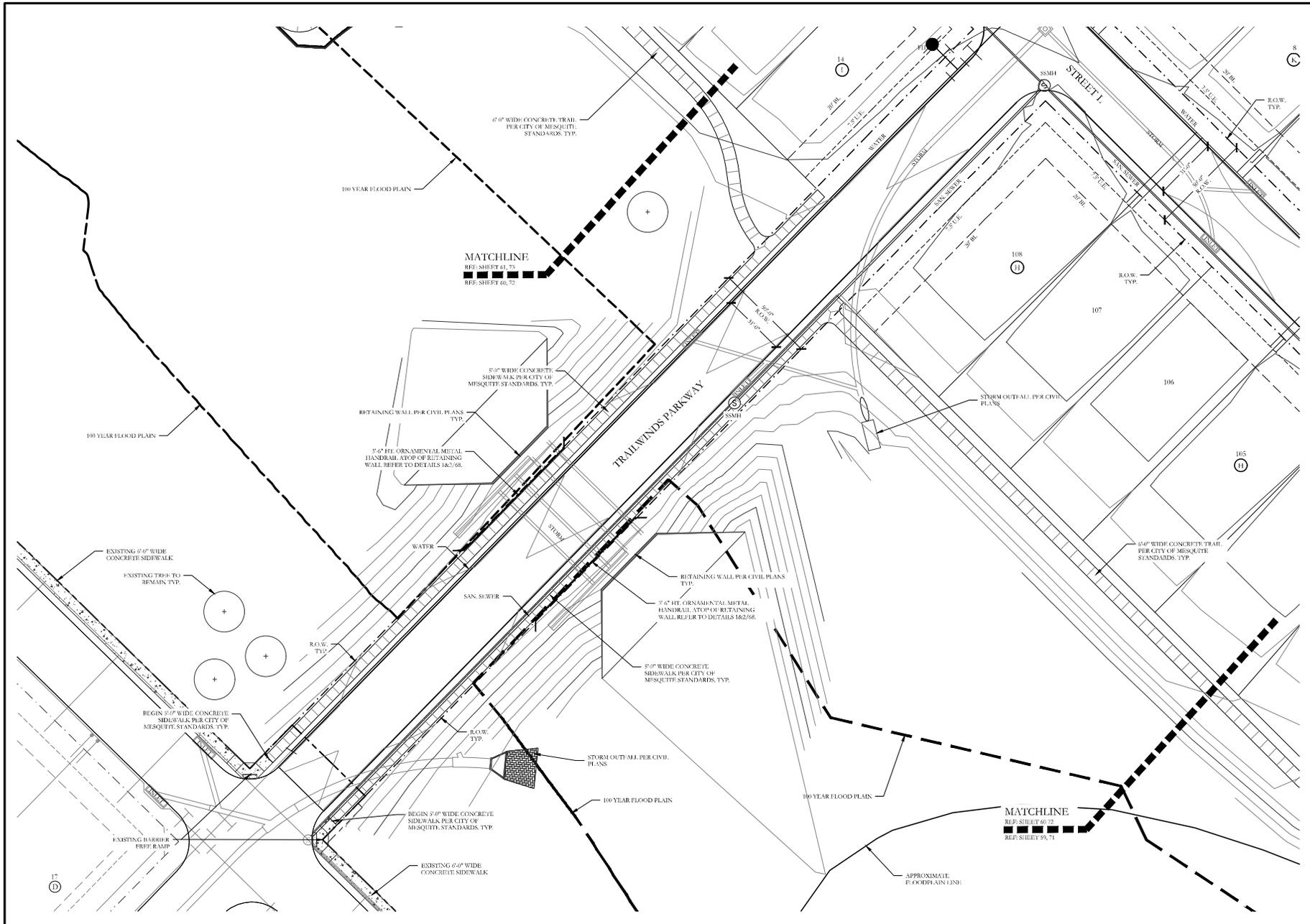
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One Inch

SCREENING AND BUFFERING
Landscape Plans
Trailwind Phase II
City of Mesquite, Kaufman County, Texas

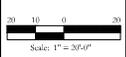
CJS PROJECT NO.
HOR006A

SHEET NO.
59



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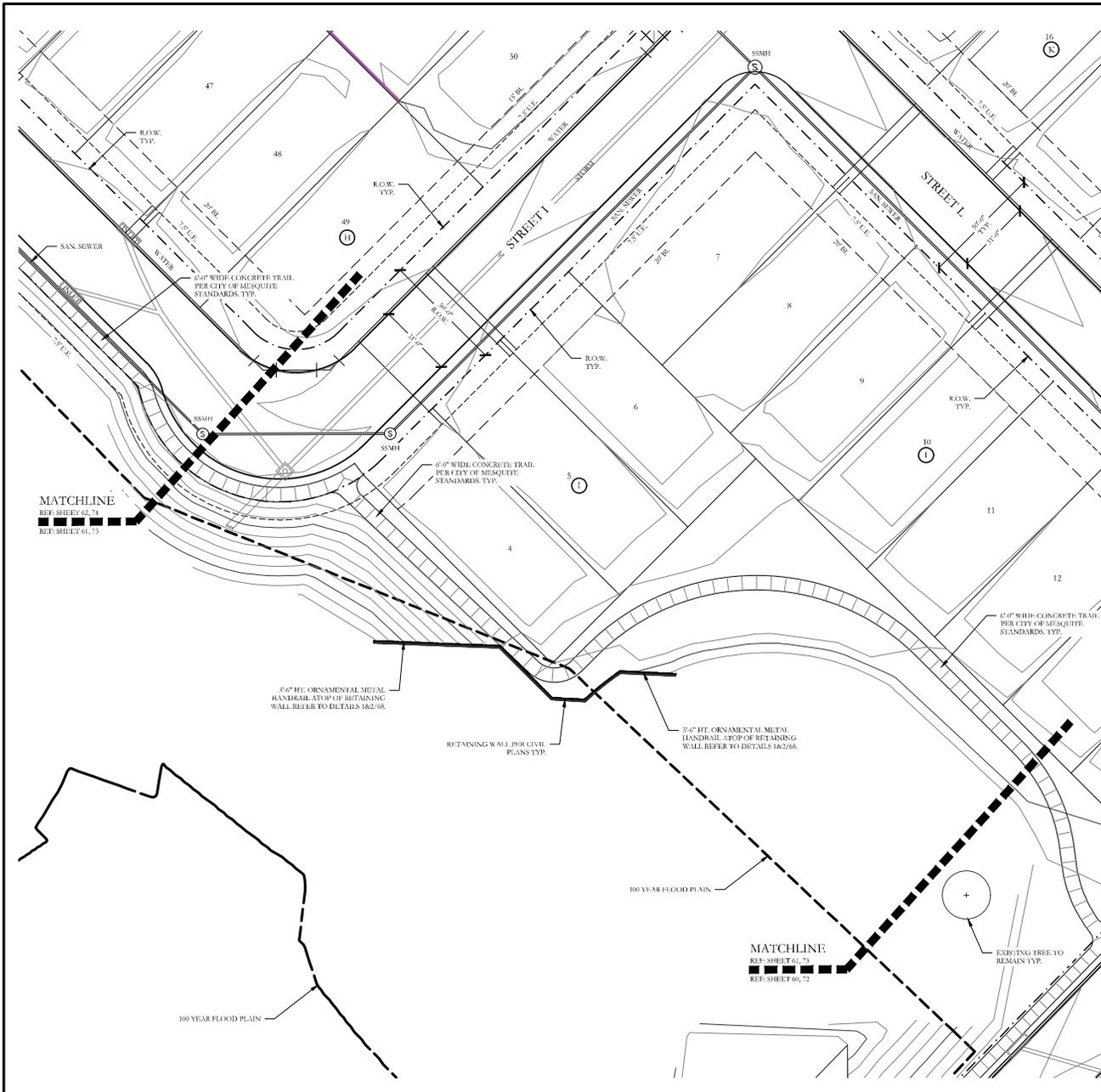
Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch

SCREENING AND BUFFERING
Landscape Plans
Trailwind Phase II
City of Mesquite, Kaufman County, Texas

CJS PROJECT NO.
HOR006A

SHEET NO.
60



HARDSCAPE LEGEND

- 8.0' HT. PRE-CAST CONCRETE SCREENING WALL REFER TO SHEET 5068.
- 8.0' HT. PRE-CAST CONCRETE SCREENING WALL REFER TO SHEET 5068.
- 3.0' HT. ORNAMENTAL METAL HANDRAIL REFER TO DETAILS 182/06.

NOTE: REFER TO CIVIL ENGINEERING PLANS FOR SIDEWALK AND BARRIER FREE RAMP ALIGNMENT AND DETAILS.

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NORTH

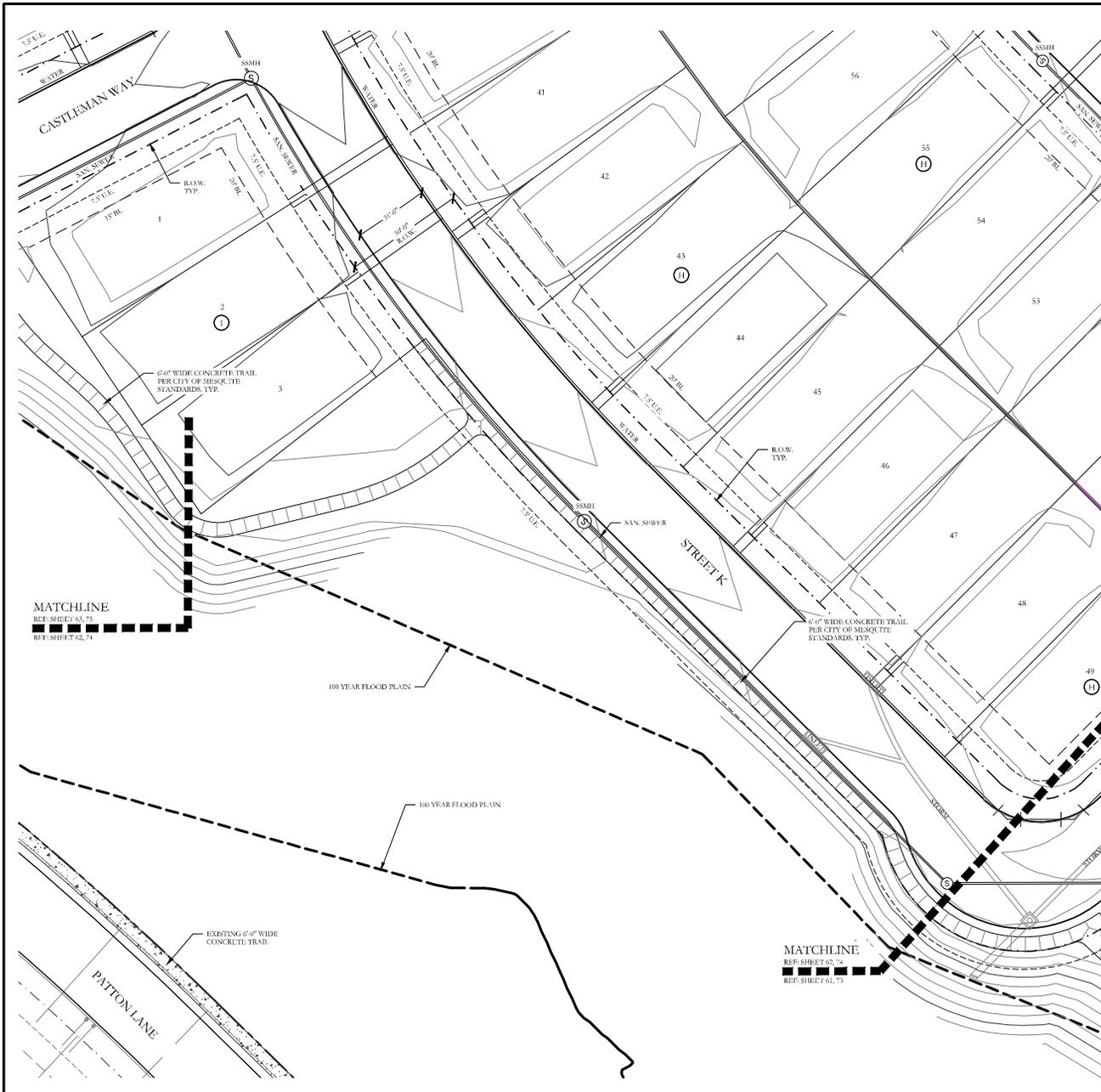
Scale: 1" = 30.00'

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch

SCREENING AND BUFFERING
Hardscape Plans
Trailwind Phase II
City of Mesquite, Kaufman County, Texas

CUS PROJECT NO.	HOR006A
SHEET NO.	61



HARDSCAPE LEGEND

- 8'-0" HT. PRE-CAST CONCRETE SCREENING WALL. REFER TO SHEET 60.6.
- 6'-0" HT. PRE-CAST CONCRETE SCREENING WALL. REFER TO SHEET 60.6.
- 3'-0" FC. ORNAMENTAL METAL HANDRAIL. REFER TO DETAIL 462/08.

NOTE: REFER TO CIVIL ENGINEERING PLANS FOR SIDEWALK AND BARRIER RAIL RAMP ALIGNMENT AND DETAILS.

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NORTH

Scale: 1" = 30'-0"

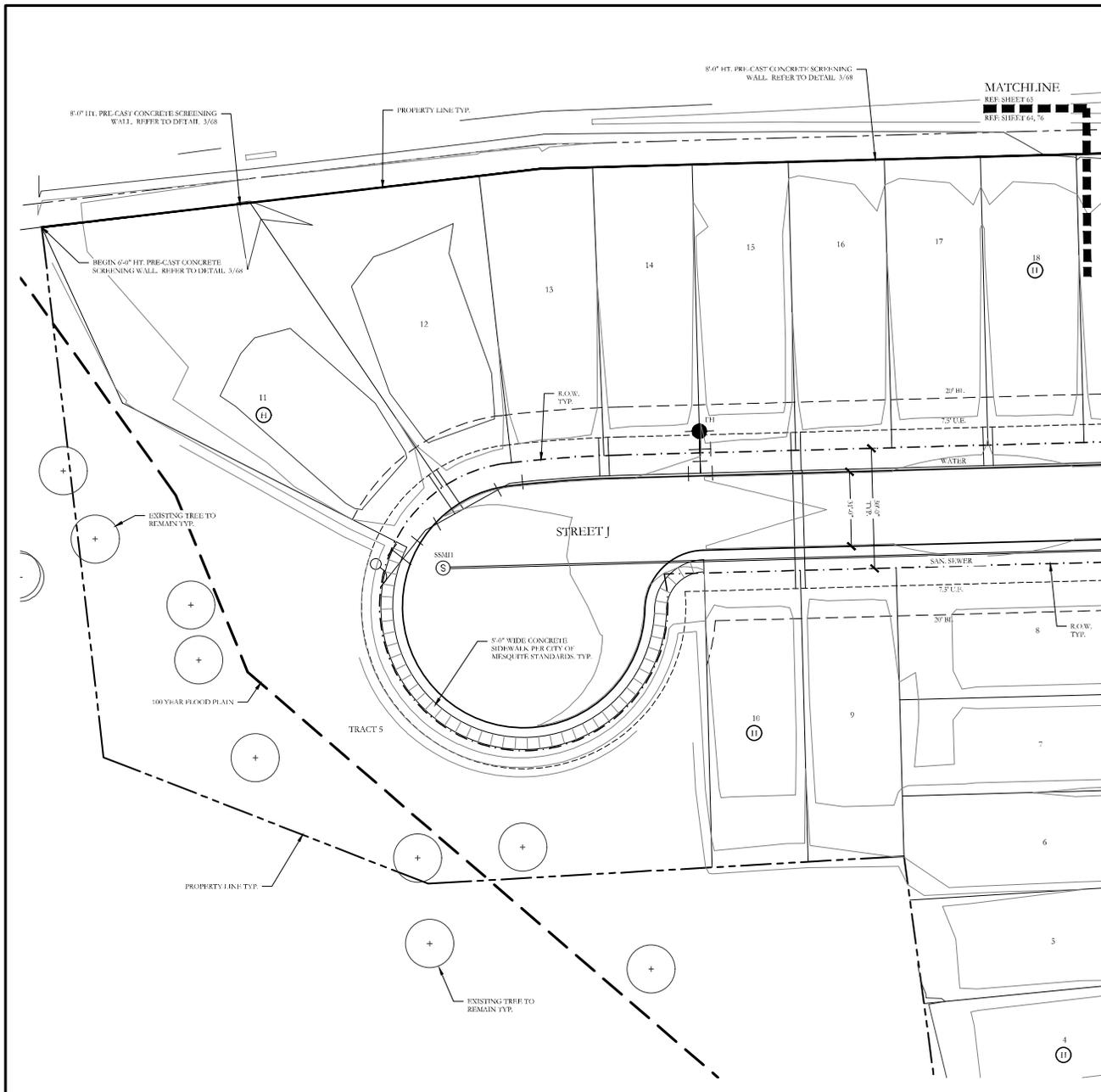
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One Inch

SCREENING AND BUFFERING
Hardscape Plans
Trailwind Phase II
City of Mesquite, Kaufman County, Texas

CJS PROJECT NO.
HOR006A

SHEET NO.
62



HARDSCAPE LEGEND

- 8'-0" HT. PRE-CAST CONCRETE SCREENING WALL REFER TO SHEET 3/68.
- 8'-0" HT. PRE-CAST CONCRETE SCREENING WALL REFER TO SHEET 3/68.
- 3'-0" DECORATIVE METAL HANDRAIL REFER TO DETAIL 3/67/68.

NOTE: REFER TO CIVIL ENGINEERING PLANS FOR SIDEWALK AND BARRIER RAMP ALIGNMENT AND DETAILS.

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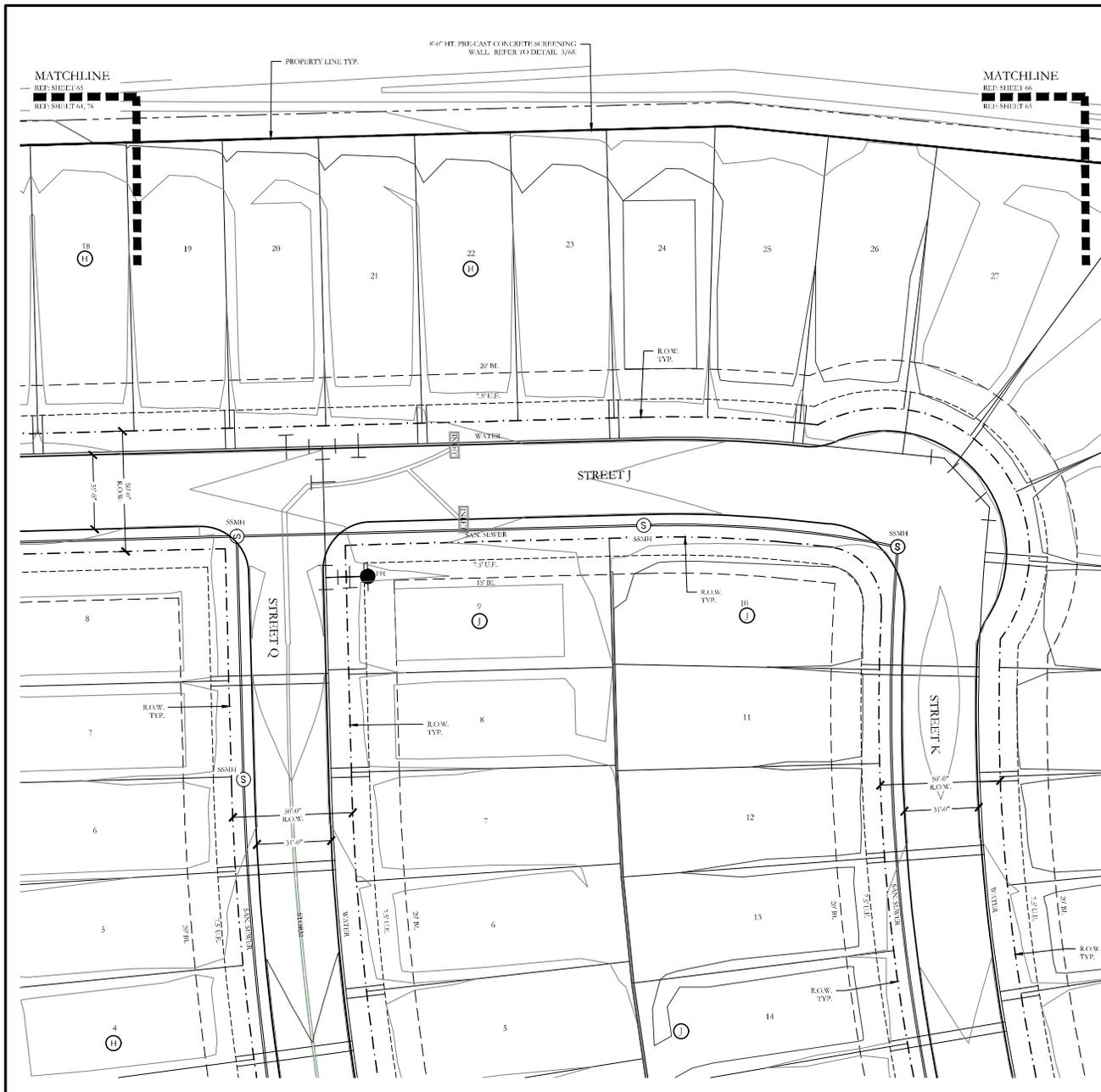
Scale: 1" = 30'-0"

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One Inch

SCREENING AND BUFFERING
Hardscape Plans
Trailwind Phase II
City of Mesquite, Kaufman County, Texas

CUS PROJECT NO.	HOR006A
SHEET NO.	64



HARDSCAPE LEGEND

- 6'-0" HT. PRE-CAST CONCRETE SCREENING WALL. REFER TO SHEET 3/68.
- 8'-0" HT. PRE-CAST CONCRETE SCREENING WALL. REFER TO SHEET 3/68.
- 3'-0" HT. ORNAMENTAL METAL HANDRAIL. REFER TO DETAIL 14.2/68.

NOTE: REFER TO CIVIL ENGINEERING PLANS FOR SIDEWALK AND BARRIER RAMP ALIGNMENT AND DETAILS.

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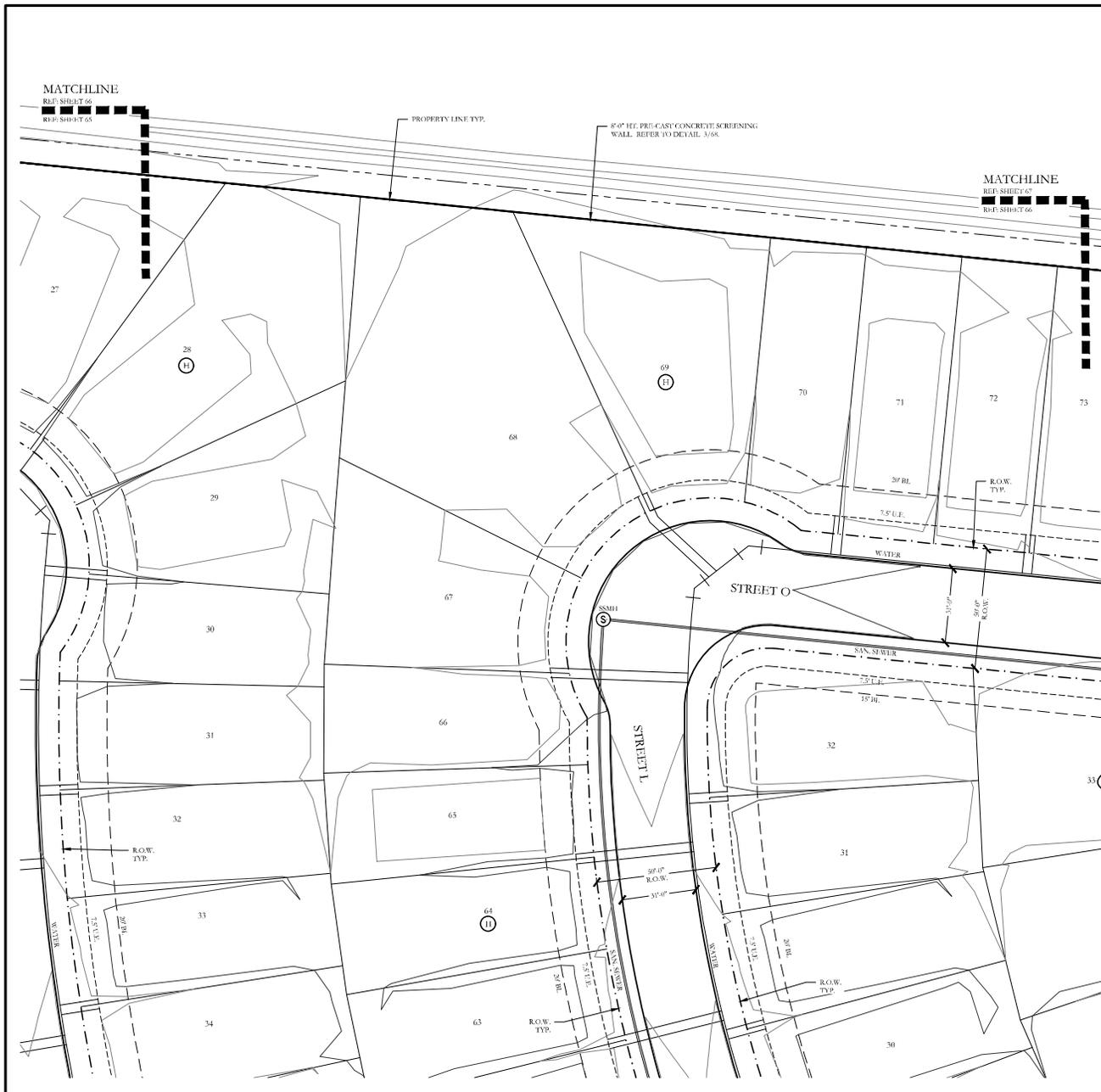


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One Inch

SCREENING AND BUFFERING
Hardscape Plans
Trailwind Phase II
City of Mesquite, Kaufman County, Texas

CJS PROJECT NO.	HOR006A
SHEET NO.	65



HARDSCAPE LEGEND

- 8'-0" HT. PRE-CAST CONCRETE SCREENING WALL REFER TO SHEET 3/68.
- 8'-0" HT. PRE-CAST CONCRETE SCREENING WALL REFER TO SHEET 3/68.
- 3'-0" HT. ORNAMENTAL METAL HANDRAIL REFER TO DETAIL 16/2/68.

NOTE: REFER TO CIVIL ENGINEERING PLANS FOR SIDEWALK AND BARRIER RAMP ALIGNMENT AND DETAILS.

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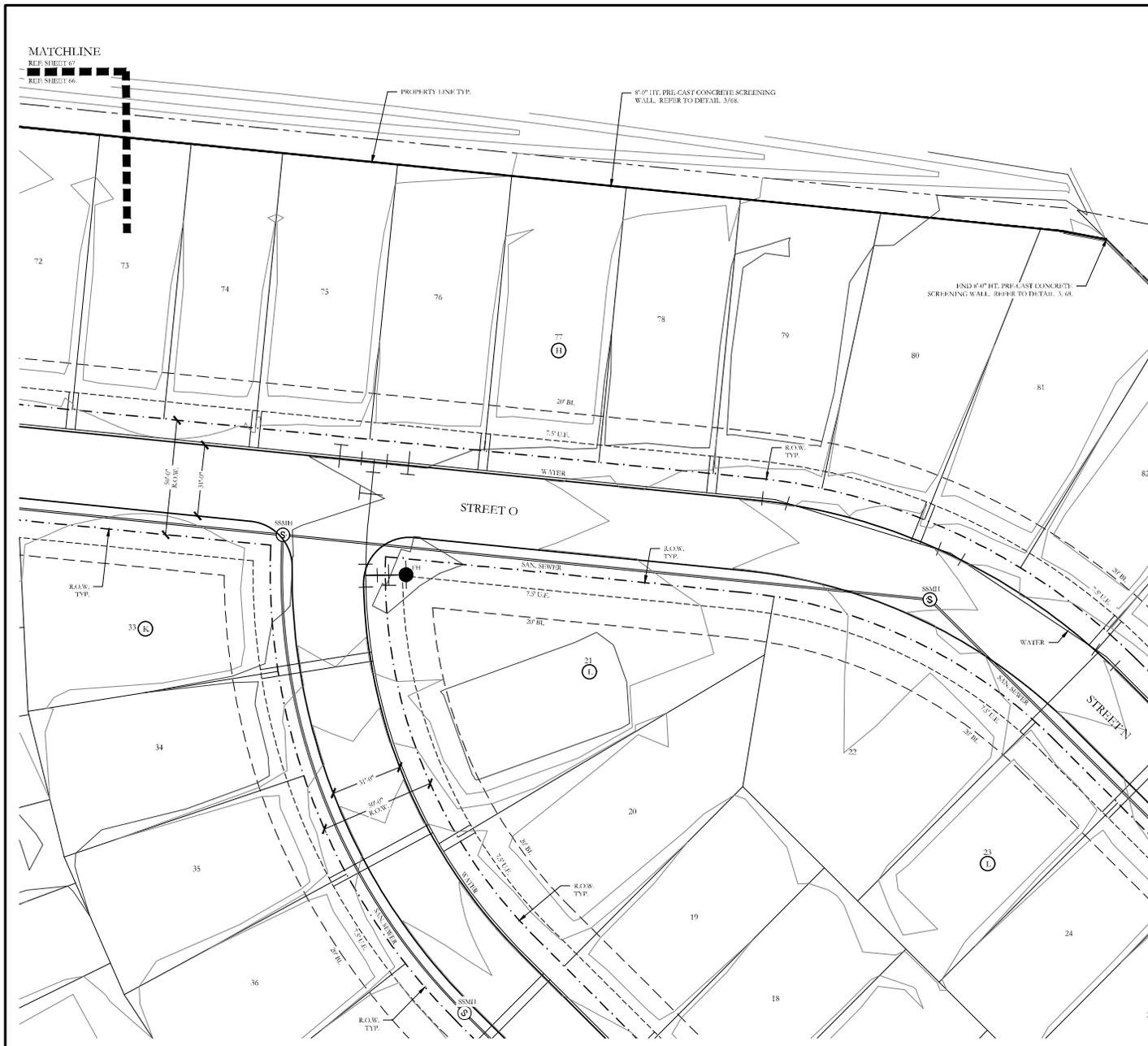
Scale: 1" = 30'-0"

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One Inch

SCREENING AND BUFFERING
Hardscape Plans
Trailwind Phase II
City of Mesquite, Kaufman County, Texas

CUS PROJECT NO.	HOR006A
SHEET NO.	66



HARDSCAPE LEGEND

- 8" DIA. PRE-CAST CONCRETE SCREENING WALL. REFER TO SHEET 3/68.
- 8" DIA. PRE-CAST CONCRETE SCREENING WALL. REFER TO SHEET 3/68.
- 8" DIA. ORNAMENTAL METAL HANDRAIL. REFER TO DETAIL 1&2/68.

NOTE: REFER TO CIVIL ENGINEERING PLANS FOR SIDEWALK AND BARRIER FREE RAMP ALIGNMENT AND DETAILS.

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June 19, 2020

NORTH

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One Inch

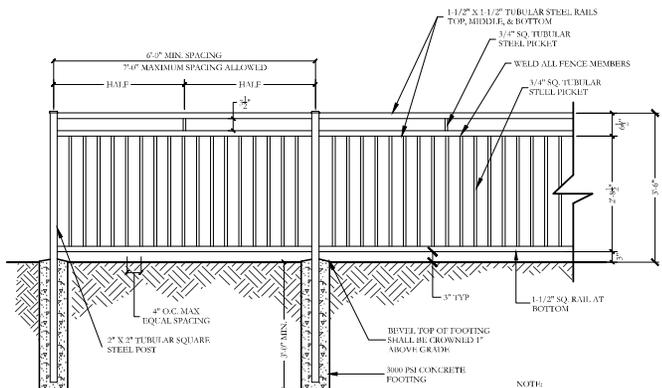
SCREENING AND BUFFERING
Hardscape Plans
Trailwind Phase II
City of Mesquite, Kaufman County, Texas

CJS PROJECT NO.
HOR006A

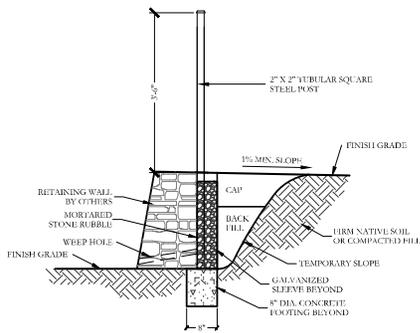
SHEET NO.
67

ORNAMENTAL METAL FENCE NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND SERVICES EITHER ABOVE OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR BURIAL OF ANY AND ALL UTILITIES AND STRUCTURE CAUSED BY HIS WORK.
2. ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND CITY INSPECTIONS.
4. ALL ORNAMENTAL METAL FENCES, POSTS, RAILS AND PICKETS SHALL BE BEVELLED AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
5. PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS.
6. GROUND SURFACE TO BE SHOWN.
7. ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF RUSTPROOF PAINT. COLOR TO BE 1017 BY NCC. CONTRACTOR TO SUPPLY A MIN. 75% SOLIDS.
8. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE SIGNING OFF. BIDDING GATES AND FENCE.
9. ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM A513 HOT ROLLED STRUCTURAL STEEL 30,000 PSI TENSILE STRENGTH, COMMON WEIGHTS AND GAUGES.
10. FENCE MEMBER SIZES TO BE AS FOLLOWS:
 (H1) PICKETS, 1 1/2" SQUARE 14 GA.
 (H2) RAILS, 1" SQUARE 14 GA.
 (H3) POSTS, 1 1/2" SQUARE 11 GA.
 (H4) CONCRETE FOOTING FOR POSTS SHALL BE 6" DIAMETER.
11. POSTS SHALL BE SPACED AT 15'-0" O.C.
12. CONCRETE FOOTING FOR POSTS SHALL BE 6" DIAMETER.
13. FENCE SHALL BE BEVELLED AT 45° O.C.
14. FENCE SHALL MEET LOCAL CODES AND SPONSORING AGENCY COMMUNITY DEVELOPMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY DIMENSIONS OF POSTS, PICKETS AND HORIZONTAL BARS AND INCLUDING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.



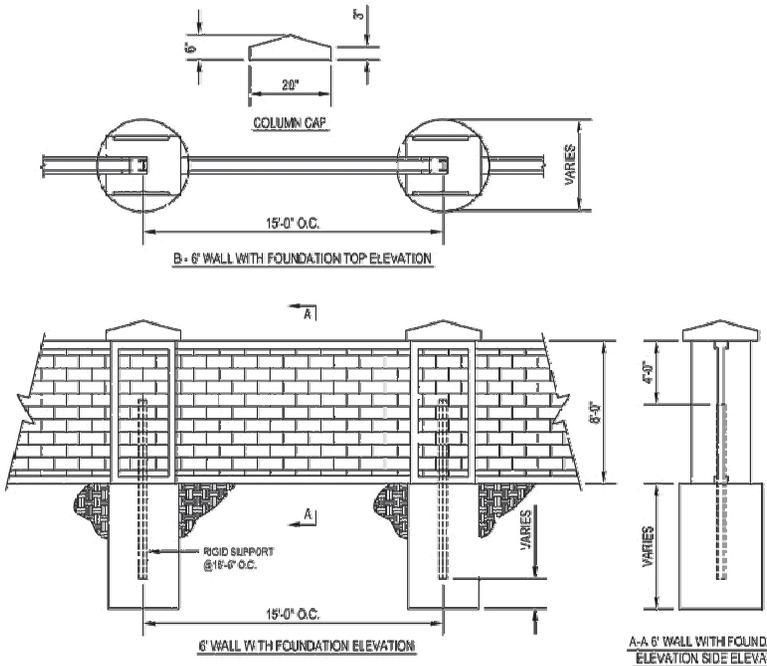
1 42" HT. ORNAMENTAL METAL HANDRAIL ELEVATION SCALE: 3/4"=1'-0"



2 42" HT. ORNAMENTAL METAL HANDRAIL ON TOP RETAINING WALL SECTION SCALE: 3/4"=1'-0"



David Scibek
 NORTH TEXAS
 phone: 972.533.6440
 turnerprecast.com



- NOTES:**
1. INSTALLATION TO COMPLY WITH ENGINEERING FOR WIND LOADS, SOIL CONDITIONS (AND SEISMIC WHERE APPLICABLE).
 2. DRAWINGS NOT TO SCALE.
 3. VARIOUS TEXTURED FINISHES ARE AVAILABLE BUT NOT IN ALL MARKETS. CHECK WITH AFTEC FOR THE LOCATIONS & DESIGNS PRODUCED BY LICENSED MANUFACTURERS'.
 4. FOOTING DIMENSIONS VARY ACCORDING TO WALL HEIGHT AND JOB SITE CONDITIONS.

8" BRICK WALL PANEL/COLUMN ELEVATION

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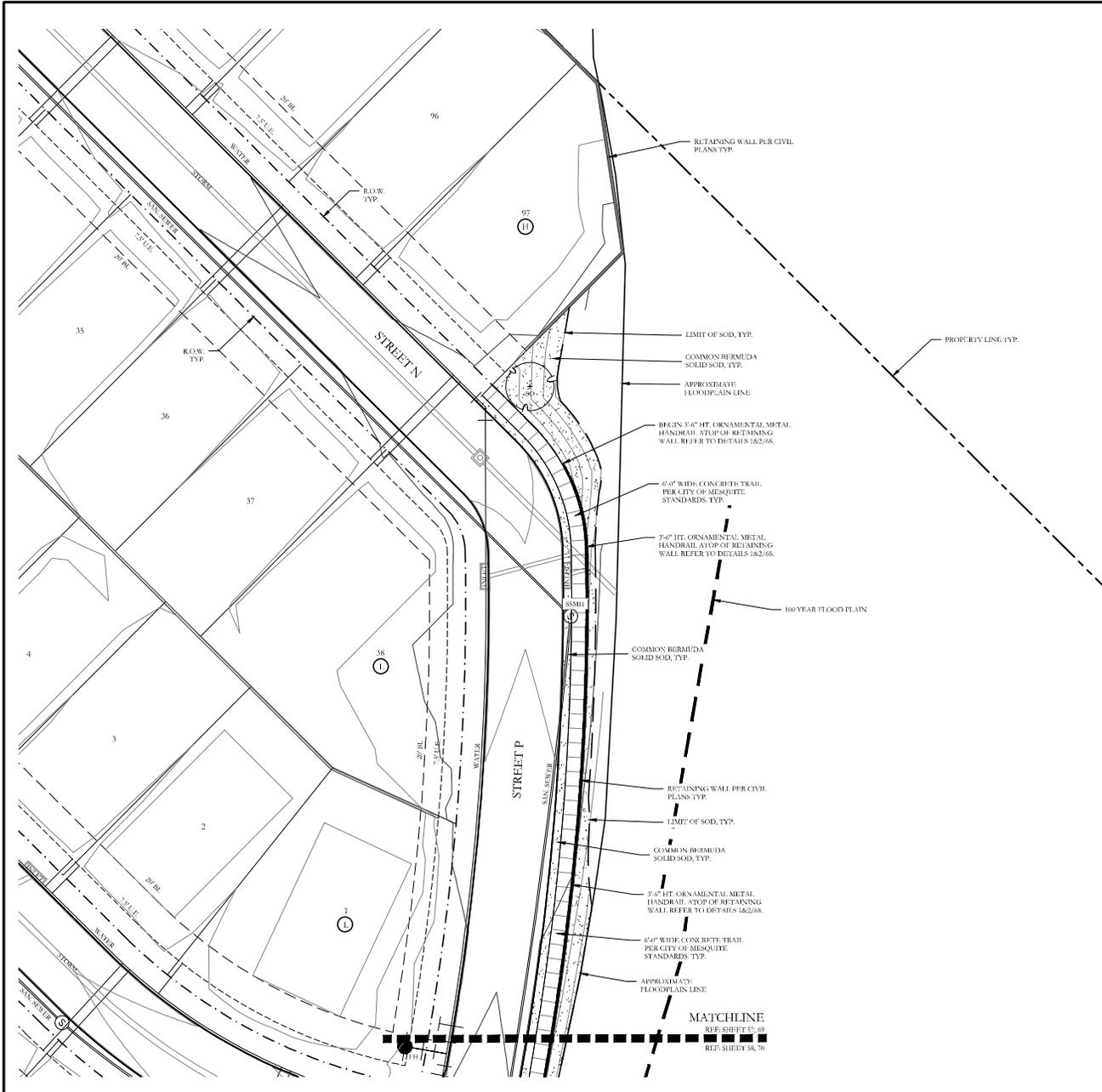
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June 09, 2020

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 One Inch

SCREENING AND BUFFERING
 Landscape Details
 Trailwind Phase II
 City of Mesquite, Kaufman County, Texas

CJS PROJECT NO.
 HOR006A
 SHEET NO.
 68



PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	3" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD

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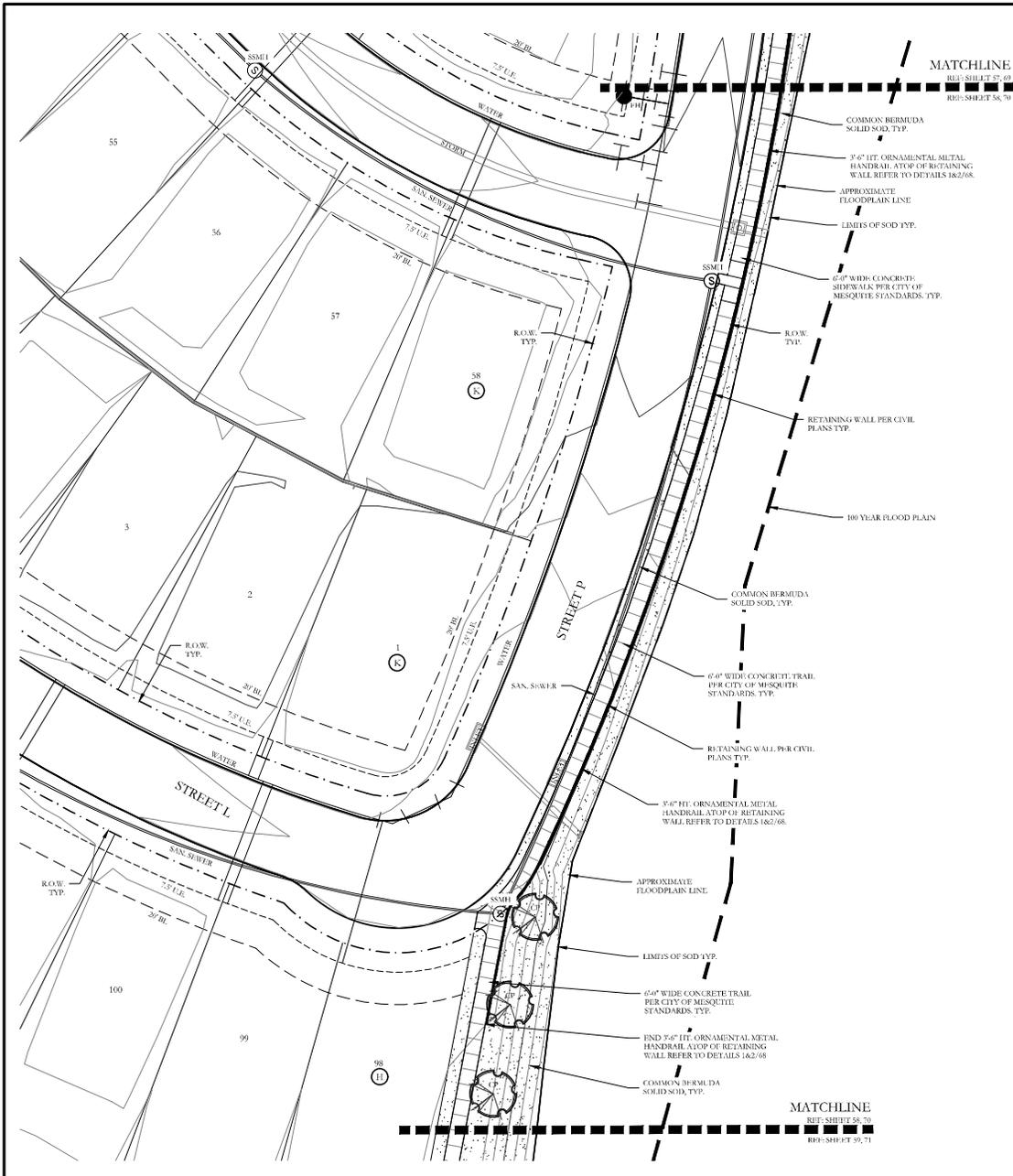


Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.
One Inch

SCREENING AND BUFFERING
Landscape Plans
Trailwind Phase II
City of Mesquite, Kaufman County, Texas

CJS PROJECT NO.
HOR006A
SHEET NO.
69

MATCHLINE
REF: SHEET 55, 69
REF: SHEET 58, 70



PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SUMMARDII	3" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	3" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD

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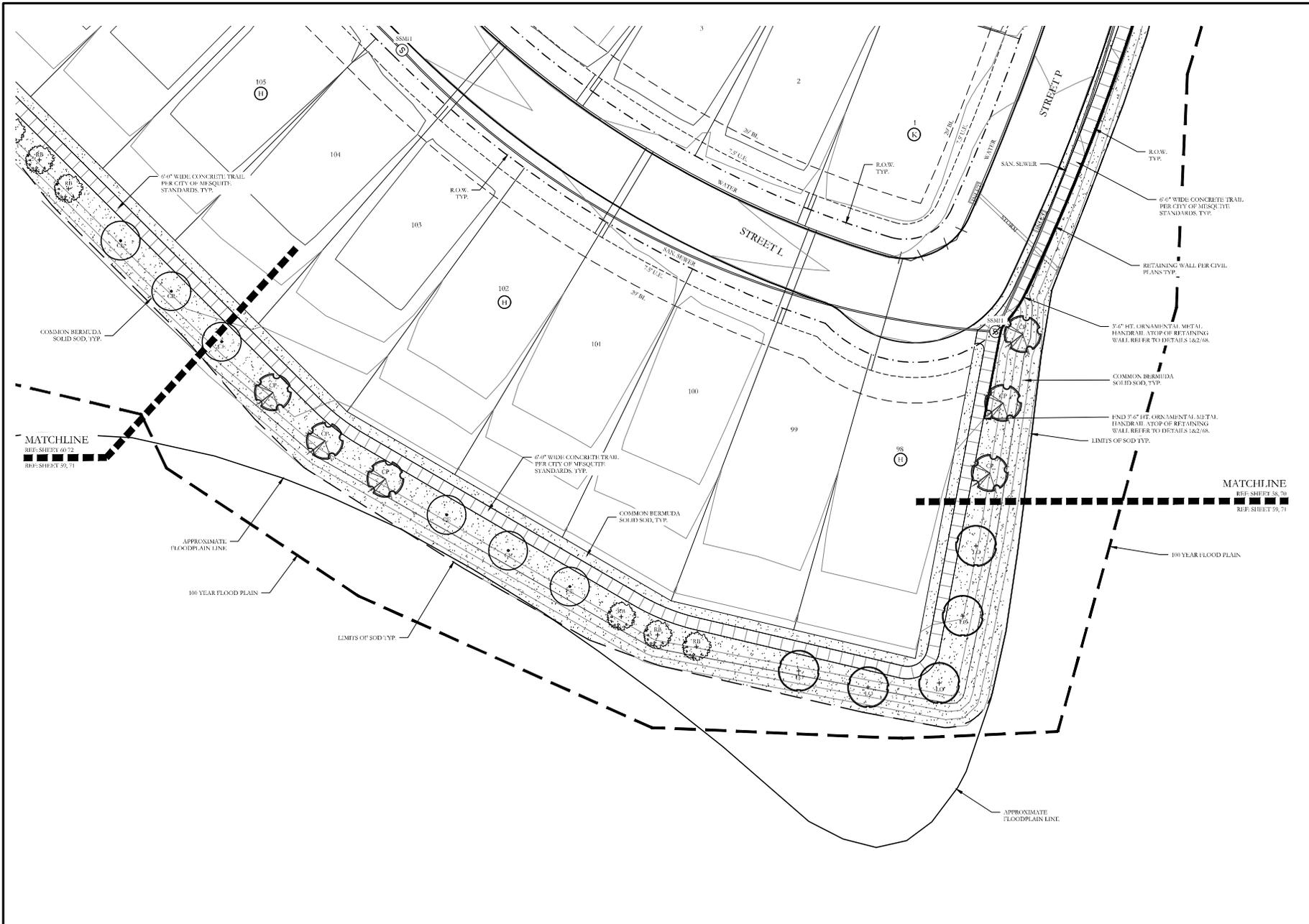


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One Inch

SCREENING AND BUFFERING
 Landscape Plans
 Trailwind Phase II
 City of Mesquite, Kaufman County, Texas

CJS PROJECT NO.
HOR006A
 SHEET NO.
70



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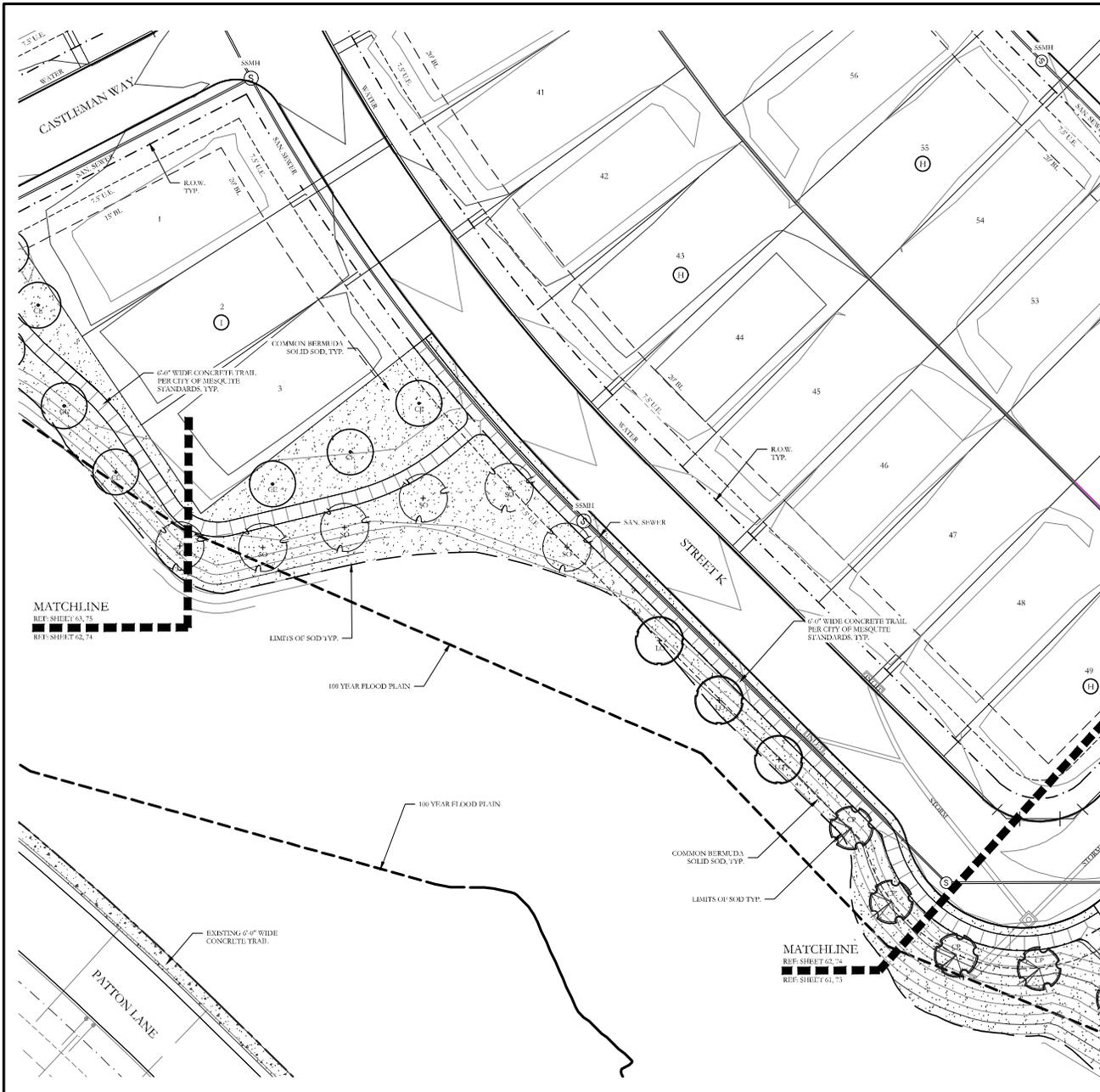
0 10 20
Scale: 1" = 30'-0"

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One Inch

SCREENING AND BUFFERING
Landscape Plans
Trailwind Phase II
City of Mesquite, Kaufman County, Texas

CJS PROJECT NO.	HOR006A
SHEET NO.	71



PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	3" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD

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NORTH

Scale: 1" = 30'-0"

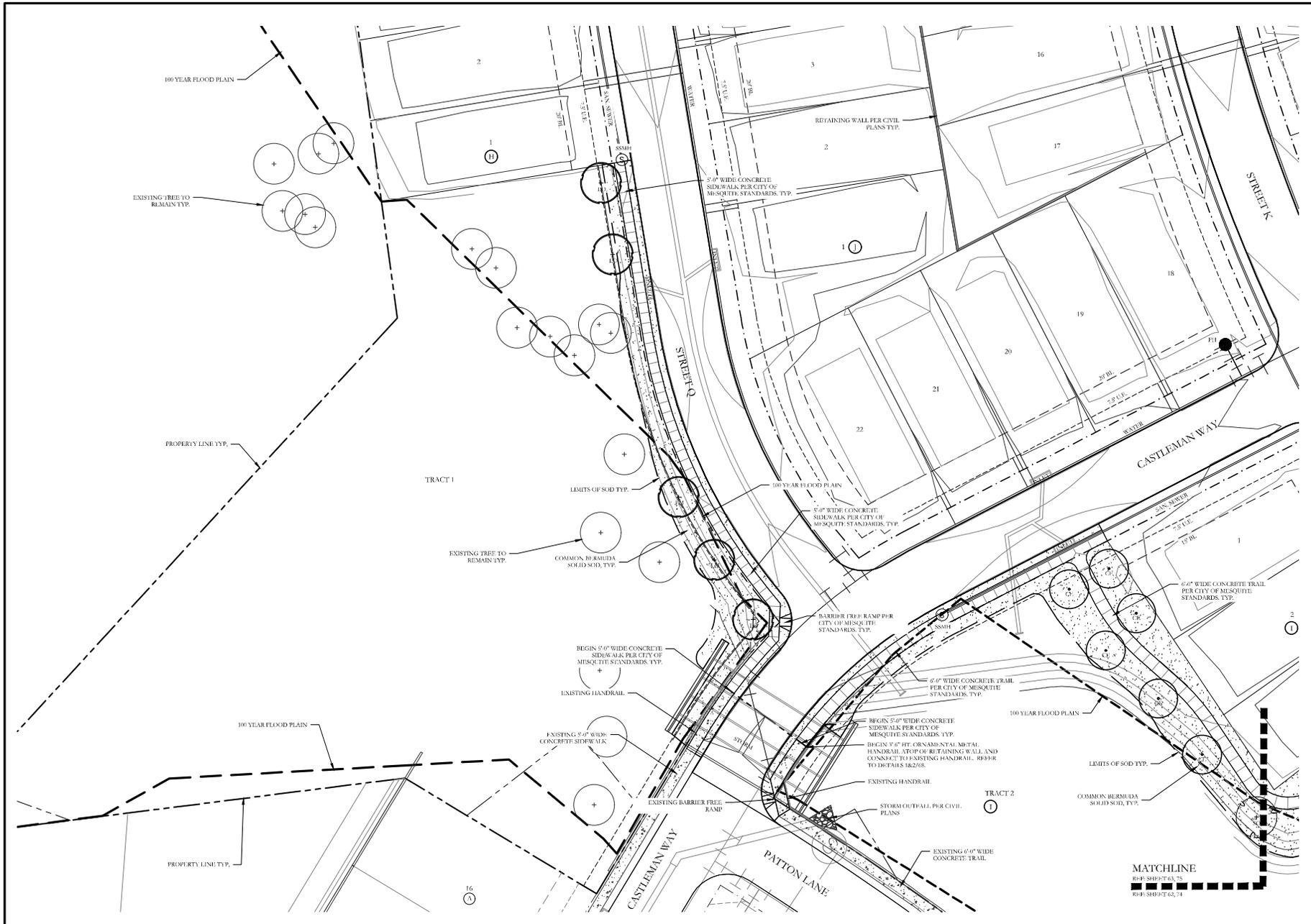
Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch

SCREENING AND BUFFERING
Landscape Plans
Trailwind Phase II
City of Mesquite, Kaufman County, Texas

CJS PROJECT NO.
HOR006A

SHEET NO.
74



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Scale: 1" = 30'-0"

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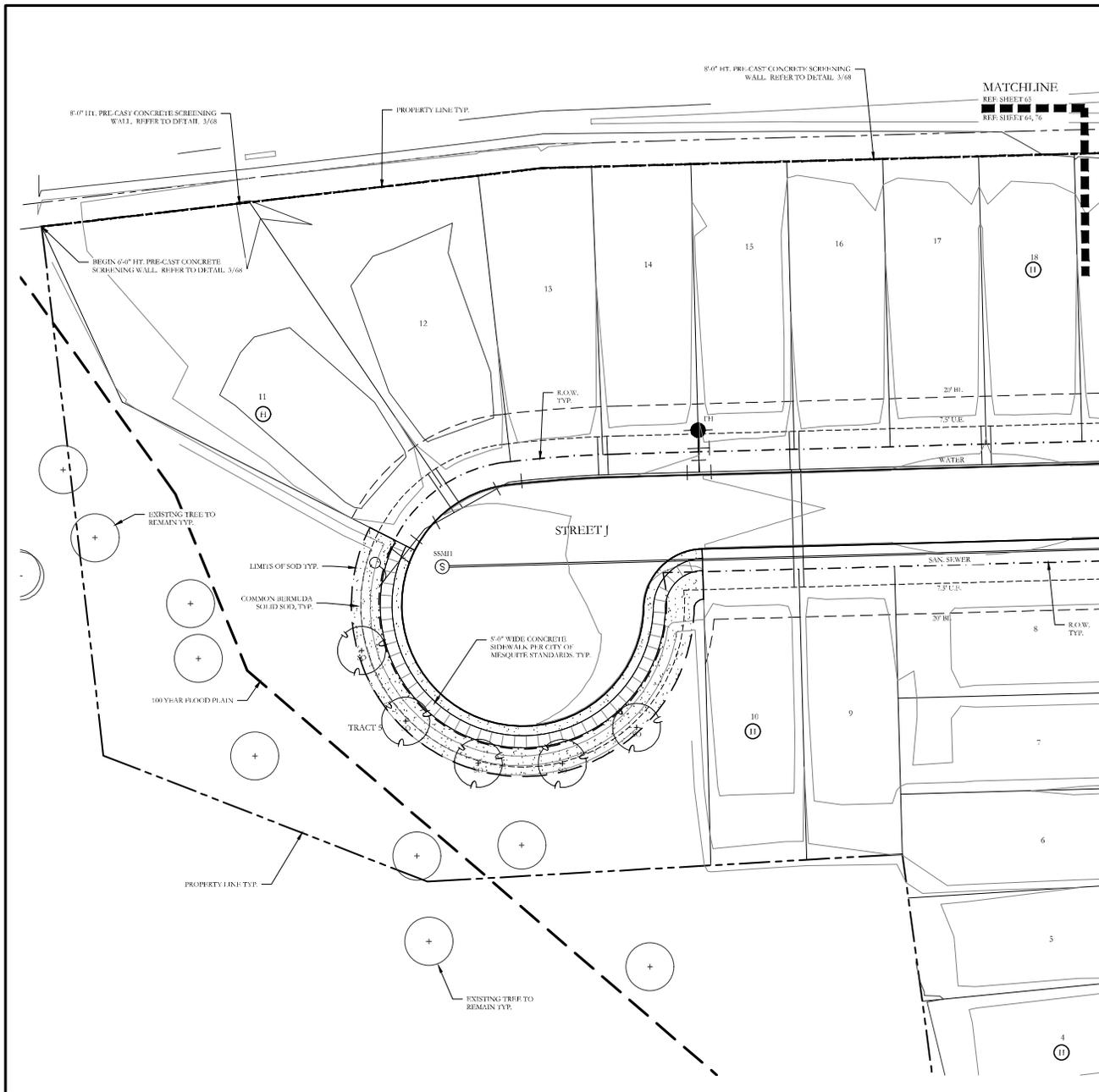
One Inch

SCREENING AND BUFFERING
Landscape Plans
Trailwind Phase II

City of Mesquite, Kaufman County, Texas

CJS PROJECT NO.
HOR006A

SHEET NO.
75



PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	3" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		COMMON BERMEUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD

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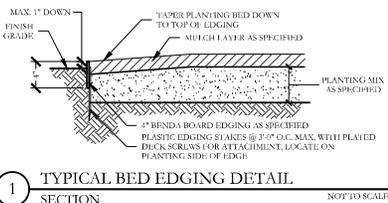
Scale: 1" = 30'-0"

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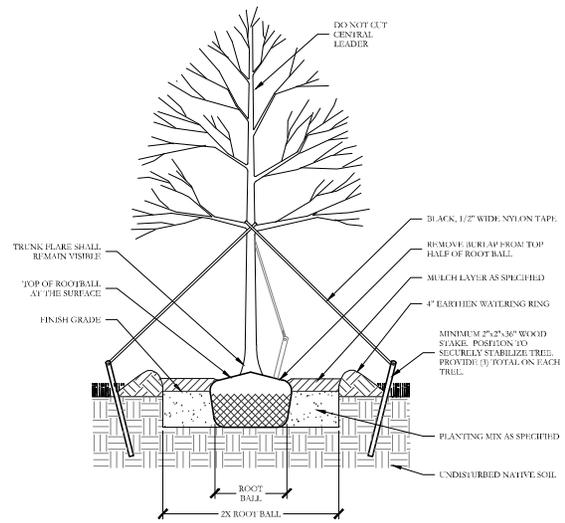
One Inch

SCREENING AND BUFFERING
Landscape Plans
Trailwind Phase II
City of Mesquite, Kaufman County, Texas

CJS PROJECT NO.	HOR006A
SHEET NO.	76



1 TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE



2 TYPICAL TREE PLANTING SECTION NOT TO SCALE

PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	17	LIVE OAK	QUERCUS VIRGINIANA	3\"/>		

LANDSCAPE PROVIDED

TREE MITIGATION:
FOR THE TREE SURVEY PLANS DATES NOVEMBER 17, 2019 THE TREE MITIGATION IS 191.00 CALIPER INCHES and 223 FEET.

BASED ON THE LANDSCAPE MITIGATION ABOVE, THE DEVELOPER IS PLANTING 64 TOTAL 3\"/>

EACH PRIVATE LOT SHALL HAVE PLANTED 2 EACH 3\"/>

GENERAL LANDSCAPE NOTES

- INSPECTIONS:**
- NO EXCAVATION SHALL OCCUR IN CITY ROW, WITHOUT A ROW PERMIT CONTACT THE PUBLIC WORKS DEPARTMENT.
 - THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND UTILITY LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
 - THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - WATER METERS, CLEANOUTS AND OTHER APPURTENANCES SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

- LANDSCAPE STANDARDS:**
- PLANTINGS AND LAYOUT ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC ROW, VISIBILITY REQUIREMENTS.
 - UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4 FEET FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
 - A MINIMUM THREE FEET (3) RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PLANTING TO THE FIRE CODE.
 - STREET TREES, WHERE REQUIRED, SHALL BE (1) MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROAD SHALL BE (2) MINIMUM FROM THE WATER METER.
 - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z663-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
 - TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
 - A 2-3\"/>

- IRRIGATION STANDARDS:**
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
 - CONTRACTOR DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
 - IRRIGATION OVER SPRAY ON SIDEWALKS AND WALKS IS PROHIBITED.
 - MINOR VALVES OR CONTROL VALVES SHALL NOT BE LOCATED IN THE CITY'S ROW.
 - IF IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT ENCURE THE LANDSCAPE WITH ALLOWANCE (WAY) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
 - VALVES SHALL BE LOCATED A MINIMUM OF (2) FEET FROM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY TREE HYDRANTS AND WATER VALVES.
 - THE BOLLER BELT UNDER STREETS, DRIVE ALLEYS, AND DRIVE LANS SHALL PROVIDE (2) FEET OF CLEARANCE MINIMUM.
 - IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES SHALL BE FED FROM STEMBED LATERALS OR BULLHEADS. A MINIMUM FIVE FOOT (5) SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
 - NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10\"/>

- MAINTENANCE STANDARDS:**
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
 - LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
 - NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON ROW, SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAFFIC FOR VEHICLES, BICYCLES, OR BICYCLE TRAFFIC IS IMPAIRED.
 - TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
 - TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION. STAKE, TREE STAKES, WIRES AND HOOKS ARE PROHIBITED.

- TREE PROTECTION NOTES:**
- CONTRACTOR DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPORTING OF ANY TREES.
 - ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4)\"/>



Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

SCREENING AND BUFFERING
Landscape Details
Trailwind Phase II
City of Mesquite, Kaufman County, Texas

CUS PROJECT NO.
HOR006A
SHEET NO.
77



PLANNING AND ZONING DIVISION

FILE NUMBER: Z0520-0140
REQUEST FOR: Conditional Use Permit to allow the sale and outdoor display of used farm equipment.
CASE MANAGER: Lesley Frohberg

PUBLIC HEARINGS

Planning and Zoning Commission: Monday, June 8, 2020
 Planning and Zoning Commission: Monday, July 13, 2020
 City Council: Monday, August 3, 2020

GENERAL INFORMATION

Applicant: Daniel Santos, DBS Construction Support, LLC
Requested Action: Rezone from “C”, Commercial to “C”, Commercial with a Conditional Use Permit to allow the sale and outdoor display of used farm equipment.
Location: 4340 Interstate Highway 30

SITE BACKGROUND

Platting: Action Commercial, Block A, Lot 1
Size: 6.55 Acres
Zoning: C – Commercial with Skyline Logistics Hub Overlay and CUP, Ordinance No.’s 3691 & 3866
Future Land Use: Commercial with Corridor Development Overlay
Zoning History: 1954: Annexed into City of Mesquite, Zoned Residential
 1968: Rezoned to C – Commercial
 1998: CUP for outdoor display of model homes
 2004: CUP for outdoor display and storage
 2004: CUP for outdoor display and sales of tractors
 2007: CUP to amend fence requirements

Surrounding Zoning and Land Uses (see attachment 3):

	<u>ZONING</u>	<u>EXISTING LAND USE</u>
NORTH:	Interstate Hwy 30 & C - Commercial	Interstate Hwy 30
SOUTH:	C – Commercial with Skyline Logistics Hub Overlay	Vacant / Undeveloped
EAST:	C – Commercial with CUP (Ord. No. 3752) & Skyline Logistics Hub Overlay	RV Dealer & Display Lot and Barnett Signs
WEST:	C – Commercial with Skyline Logistics Hub Overlay	Pepsi Bottling Plant

CASE SUMMARY

The applicant is requesting a Conditional Use Permit (CUP) to allow the sale and outdoor display of used farm equipment, such as tractors and related equipment, on the property located at 4340 Interstate Highway 30. The subject property has two existing CUPs, which were approved in 2004 and 2007 to allow the outdoor sale, display, and storage of new farm equipment. The requested CUP will not remove the existing CUPs authorizing the sale and outdoor display of new tractors and equipment.

At this time, the applicant is not proposing any changes to the existing facility. The existing business is located within the existing facilities that include an approximately 3,100 square-foot office, 13,600 square-foot assembly and manufacturing building, 4,250 square-foot covered display area, and 22,000 square-foot paved outdoor storage area. There is also an approximately 1,400 square-foot building on the site, which the business owner has stated has been decommissioned and is not intended to be used.

The subject property was first granted a CUP under Ordinance No. 3630 for Vina Tractor Company in January 2004 to allow outdoor display and storage for tractors with an approved concept plan. A subsequent CUP was approved in November 2004, Ordinance No. 3691, to revise the previously approved concept plan, with certain stipulations for the sale, storage, and display of tractors and related equipment. A third CUP was approved in 2007 for VN Tractors, Inc., Ordinance No. 3866, which amended the fence requirements for the subject property. None of the previous CUPs authorize the sale of used tractors or equipment. A copy of the existing CUPs is available in Attachment 9.

The business, VN Tractors, Inc., has been operating under an existing Certificate of Occupancy since 2006. The business assembles, repairs, and sells new, used, and refurbished heavy machinery, including tractors and other related equipment. The business acquires refurbished machinery from Vietnam. It is then transported, assembled, and sold in Mesquite. VN Tractors, Inc. has sold used and refurbished equipment since at least 2013. Staff discovered that the subject property required a CUP for the sale of used merchandise, as required by Section 3-203 of the Mesquite Zoning Ordinance, after the business applied for a new Certificate of Occupancy due to a name change to Farmer Equipment, LLC.

This item was presented at the June 8, 2020 Planning and Zoning Commission meeting, but the item was postponed to July 13, 2020, to give the applicant time to address code compliance issues.

Staff completed a site visit on July 8, 2020, and identified that the applicant made improvements to address the code compliance issues, including restriping the parking area and fire lane, replacing the dumpster screening fence, replacing missing or broken fence boards, and staining the fence. Other code compliance issues will be required to be addressed prior to being issued a Certificate of Occupancy.

MESQUITE COMPREHENSIVE PLAN

The *Mesquite Comprehensive Plan* designates the future land use of the subject property as Commercial and Corridor Development. The Commercial land use designation represents a broad range of goods and services for a community or region. Developments in this category are larger and more intense than those in the Neighborhood Retail category. The Corridor Development designation represents commercial development that is located along a major corridor. Developments within these corridors are highly visible and enhanced landscaping and public art is encouraged in this area. Compatible land use types for this area include retail, hotels, restaurants, big box retailers, entertainment, and personal services.

STAFF COMMENTS:

The CUP to allow the sale and outdoor display of used farm equipment is consistent with the *Mesquite Comprehensive Plan's* Commercial land use designation. The proposed use would be along a major highway, Interstate 30, and serve as a regional retailer for tractors and other related equipment. To meet the expectations of the Corridor Development area, Staff is recommending improvements to the signage, the existing fence, and the refuse container enclosure.

MESQUITE ZONING ORDINANCE

SECTION 5-503: REVIEW CRITERIA FOR CONDITIONAL USE PERMITS

1. Existing uses

The Conditional Use will not be injurious to the use and enjoyment of other property in the immediate area for the purposes already permitted, nor substantially diminish and impair property values within the immediate vicinity.

STAFF COMMENTS:

The request to allow the sale and display of used equipment will be located within an existing building and on an existing paved area, located at 4340 IH 30. This site has been operating as an equipment dealership since approximately 2004. Prior to 2004, this site was the site of a mobile home dealership. The requested CUP will not be injurious to the use and enjoyment of other businesses within or surrounding the subject property or negatively impact development or redevelopment in the immediate vicinity. The existing dealership abuts an RV dealership to the northeast and the Pepsi Bottling Plant to the southwest, which similarly have outdoor display and storage.

2. Vacant Properties

The Conditional Use will not impede the normal and orderly development and improvement of surrounding vacant property for uses predominant in the area.

STAFF COMMENTS:

Staff does not anticipate the request to negatively impact the development or redevelopment of any nearby property.

3. Services

Adequate utilities, access roads, drainage, and other necessary facilities have been or are being provided.

STAFF COMMENTS:

Adequate utilities, access roads, and drainage facilities exist for the site and are sufficient for accommodating the demands associated with the request for the CUP.

4. Parking

Adequate measures have been or will be taken to provide sufficient off-street parking and loading spaces to serve the proposed uses.

STAFF COMMENTS:

The existing parking lot provides 19 parking spaces at the entrance of the property for customers. Section 3-405 of the Mesquite Zoning Ordinance requires 1 space for each 300 square feet of office/display area and 1 space for each 1,000 square feet of storage/plant area. Based on this requirement, 40 parking spaces are required (See Table 1).

Type of Use	Area	Parking Ration	Required Parking
Office	3,100 sq. ft.	1 per 300 sq. ft.	10 spaces
Display	4,250 sq. ft.	1 per 300 sq. ft.	14 spaces
Manufacturing/Warehousing	13,600 sq. ft.	1 per 1,000 sq. ft.	14 spaces
Outdoor Storage	22,000 sq. ft.	1 per 10,000 sq. ft.	2 spaces
Total Parking Spaces Required			40

Table 1: Parking Requirements

The site does not provide the required number of parking spaces; however, Staff believes there is adequate parking on the site to support the existing business. The applicant will be required to resolve the nonconforming parking through a Special Exception or Site Plan approval prior to the issuance of the new Certificate of Occupancy.

5. Performance Standards

Adequate measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise, and vibration, so that none of these will constitute a nuisance and to control lighted signs and other lights in such a manner that no disturbances to neighboring properties will result.

STAFF COMMENTS:

Staff does not anticipate disturbances to neighboring businesses or residences as a result of the request.

CONCLUSIONS

ANALYSIS

Staff does not anticipate the proposed CUP to sell and display used farm equipment to negatively impact the surrounding area, given that there other businesses that have outdoor display and storage in the immediate vicinity. The subject property has been operating as a dealership for new tractors and other related equipment with outdoor display since approximately 2004 per Ordinance No. 3691. As a retail use, selling used tractors does not differ from selling new tractors concerning parking needs, traffic congestion, etc. Adding used tractors sales to the property is not expected to change the operation of the property.

RECOMMENDATIONS

Staff recommends approval of the CUP to allow the sale and display of used farm equipment, located at 4340 IH 30, with the following stipulations:

1. All customer parking spaces, as shown on the concept plan, shall be restriped prior to issuance of a Certificate of Occupancy.
2. The existing pole sign face, located in the northeast corner of the property, must be replaced within 6 months of approval of this CUP.
3. All screening and security fencing on the site shall be maintained in a like-new manner, meaning, any portion of fencing showing signs of deterioration, broken or missing panels, or creates a safety hazard, shall be replaced.
4. All code issues and violations must be resolved prior to the issuance of a Certificate of Occupancy, including the parking requirement.

PUBLIC NOTICE

Staff mailed notices to all property owners within 200 feet of the subject property. As of the date of this writing, Staff has received one returned property owner notice in favor of the request.

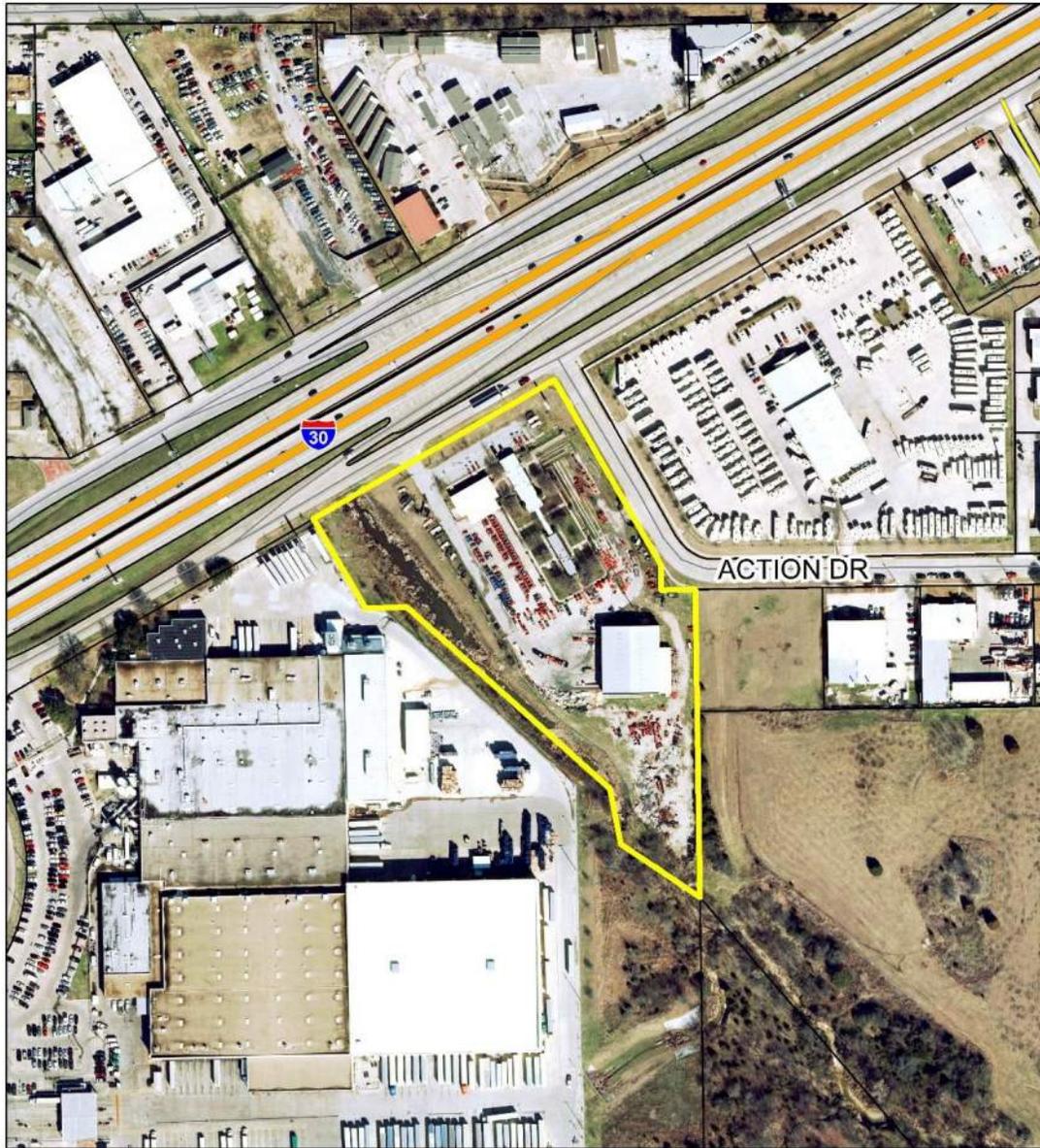
CODE CHECK

Staff conducted a site visit to the subject property and found multiple potential code issues and possible violations. Prior to the issuance of a new Certificate of Occupancy, all code issues and violations must be resolved.

ATTACHMENTS

1. Aerial Map
2. Public Notification Map
3. Zoning Map
4. Future Land Use Map
5. Site Pictures
6. Application Materials
7. Concept Plan
8. Returned Property Owner Notices
9. Existing CUP Ordinances

Aerial Map



Request: Conditional Use Permit to allow the sale of used merchandise.
Applicant: Daniel Santos
Location: 4340 Interstate Highway 30

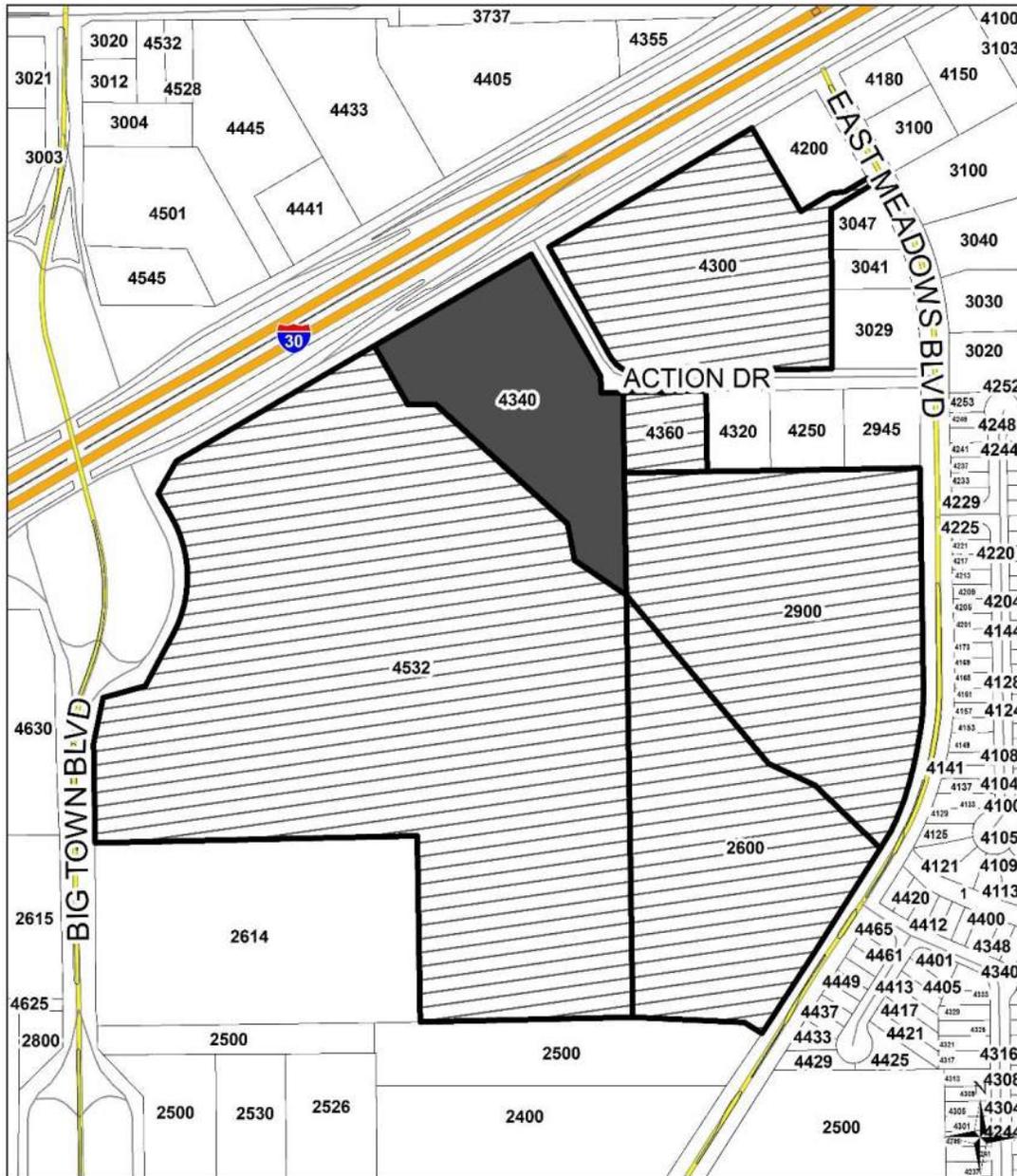
Legend
Subject Property

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ATTACHMENT 2 – PUBLIC NOTIFICATION MAP

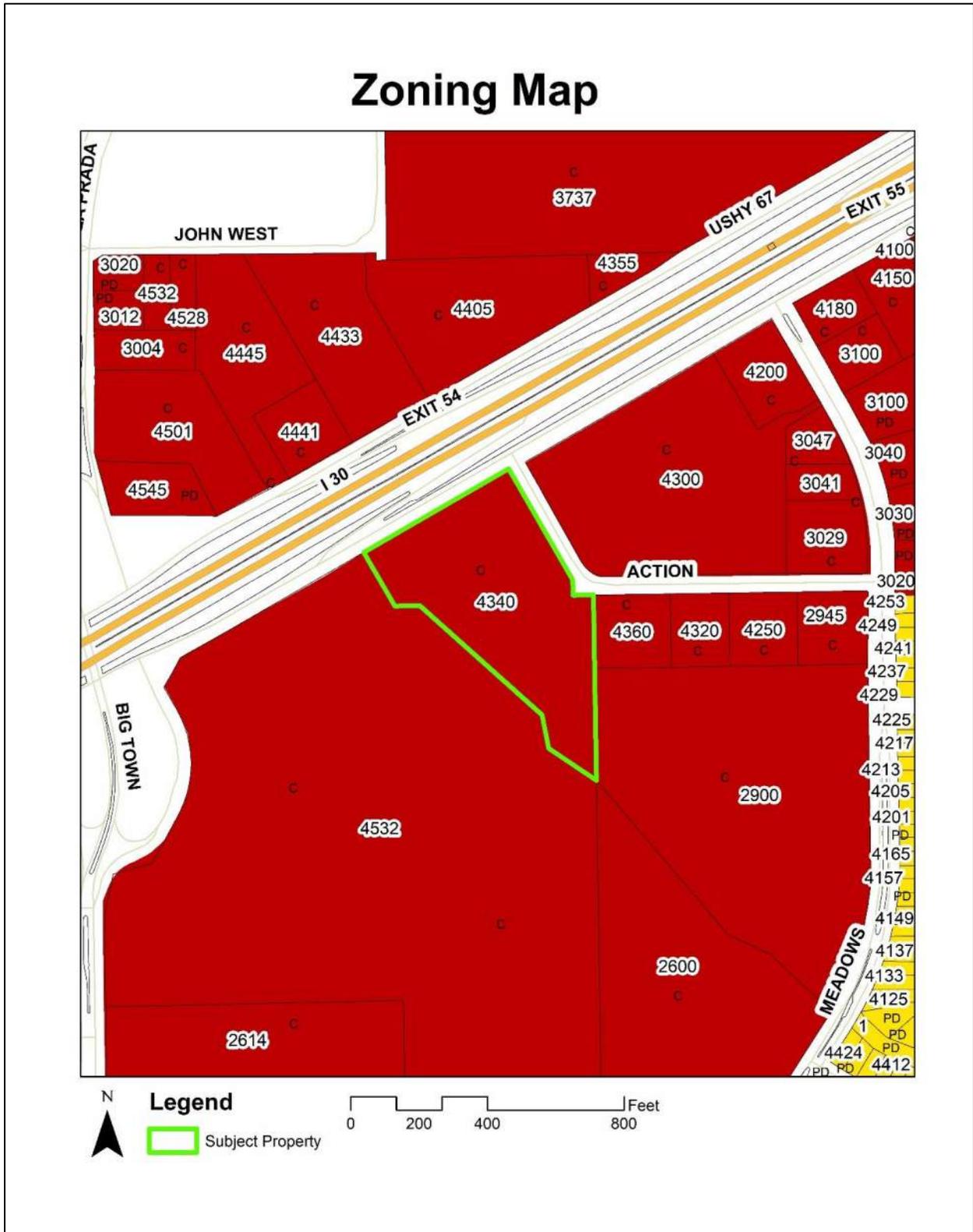
Notification Map



Request: Conditional Use Permit to allow the sale of used merchandise.
Applicant: Daniel Santos
Location: 4340 Interstate Highway 30

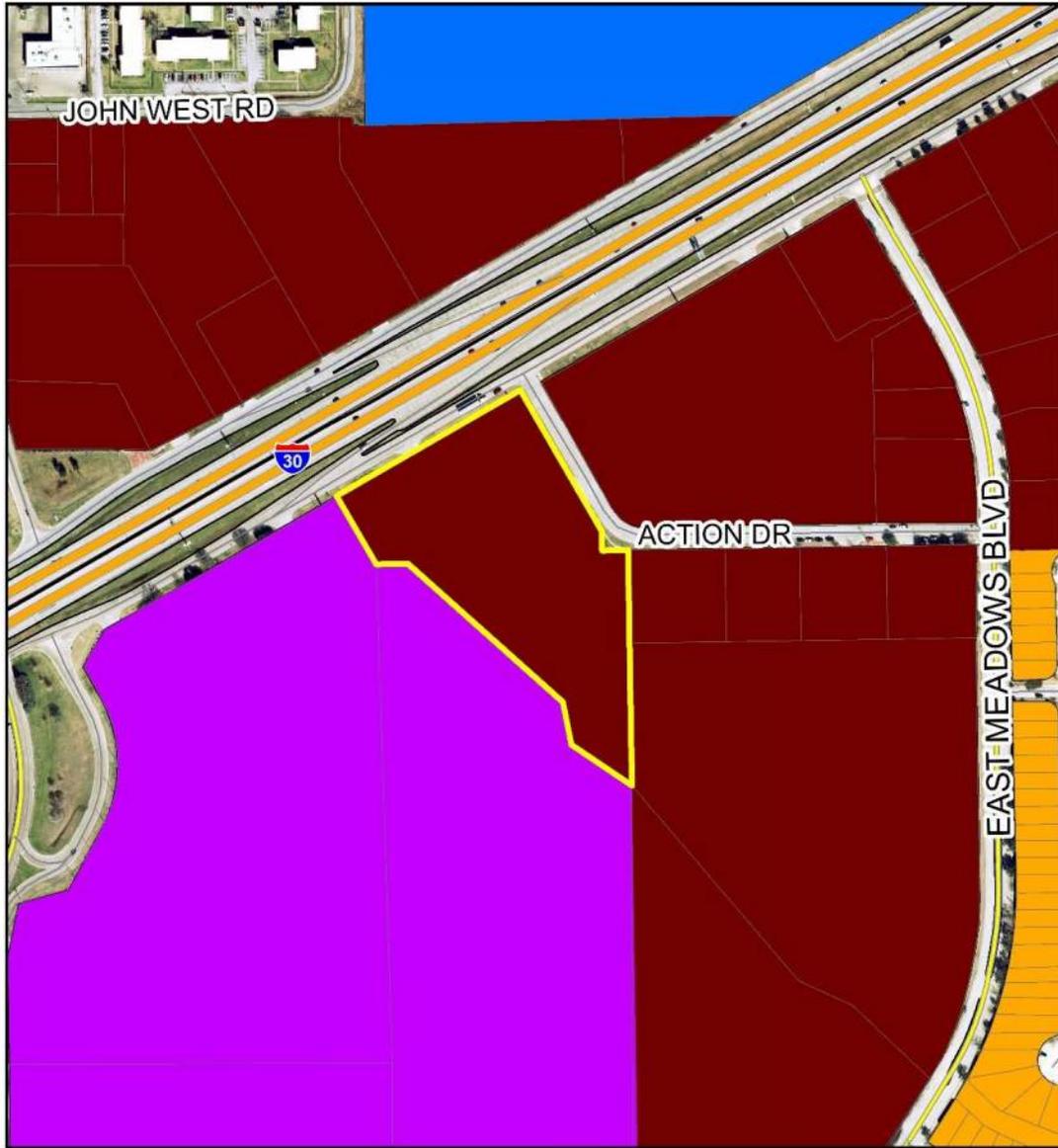
Legend
[Hatched Box] Notified Properties
[Solid Black Box] Subject Property

ATTACHMENT 3 – ZONING MAP



ATTACHMENT 4 – FUTURE LAND USE MAP

Future Land Use Map



Land Use

Commercial	Public/Semi-Public
Medium Density Residential	Light Industrial
Subject Property	

0 160 320 640 960 Feet

ATTACHMENT 5 – SITE PHOTOS



Subject property facing southeast, from IH-30 Frontage Road (June 1, 2020).



Subject property facing northeast, in the front parking lot (June 1, 2020).

ATTACHMENT 5 – SITE PHOTOS



Subject property facing southeast, in the front parking lot (June 1, 2020).



Old refuse container enclosure and property entrance, facing southwest (June 1, 2020).

ATTACHMENT 5 – SITE PHOTOS



Display area and entrance into storage area, facing south (June 1, 2020).



Display area and storage area, facing southeast (June 1, 2020).

ATTACHMENT 5 – SITE PHOTOS



Rear storage area from Action Drive, facing south (June 1, 2020).



Front of business from Action Drive, facing southwest (June 1, 2020).

ATTACHMENT 5 – SITE PHOTOS



Restriped front parking area of subject property, facing northeast (July 10, 2020).



Updated refuse container enclosure and property entrance, facing southwest (July 10, 2020).

ATTACHMENT 5 – SITE PHOTOS

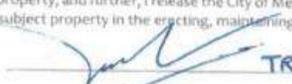
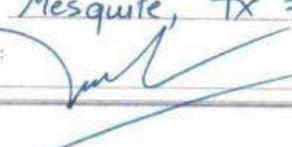


Updated screening fence along south property line, facing northwest (July 10, 2020).



East side of property cleared of storage and brush, facing northeast (July 10, 2020).

ATTACHMENT 6 – APPLICATION MATERIALS

CITY OF MESQUITE ZONING APPLICATION		Receipt No.: _____ Fee: _____ Case Manager: _____	Date Stamp: _____
REQUESTED ACTION:			
Change District Classification to: <u>No Change</u>	Conditional Use Permit for: <u>Farmer Equipment</u>	Amend Special Conditions of Ordinance # _____ <small>(Explain Below)</small>	
Additional explanation of requested action: <u>Add a Sale of refurbished and used equipment</u>			
SITE INFORMATION/GENERAL LOCATION:		LOCATION/LEGAL DESCRIPTION:	
Current Zoning Classification: _____ Site Size: <u>6,551</u> (Acres or Square Feet) Address (if available): <u>4340 IH 30</u> General Location Description: <u>Commercial</u>		Complete one of the following: 1. Platted Property Addition: <u>East Meadows Addition</u> Block: <u>A</u> Lot: <u>13</u> 2. Unplatted Property: Abstract: <u>34</u> Tract: _____	
APPLICANT INFORMATION:			
Contact: <u>Daniel Santos</u> Company: <u>DES Construction Support</u> Address: <u>2426 Fruitland Ave</u> <u>F.B TX 75234</u> Signature: 		Phone: <u>(214) 869-1869</u> Fax: () _____ E-mail: _____ <small>(Required)</small> Owner <input type="checkbox"/> Representative <input checked="" type="checkbox"/> Tenant <input type="checkbox"/> Buyer <input type="checkbox"/>	
OWNER AUTHORIZATION AND ACKNOWLEDGEMENTS:			
1. I hereby certify that I am the owner or duly authorized agent of the owner, of the subject property for the purposes of this application. 2. I hereby designate the person named above as applicant, if other than myself, to file this application and to act as the principal contact person with the City of Mesquite in the processing of this application. 3. I hereby authorize the City of Mesquite, its agents or employees, to enter the subject property at any reasonable time for the purpose of 1) Erecting, maintaining, or removing "Change of Zoning" signs, which indicate that a zoning amendment is under consideration and which indicate how further information may be obtained, and 2) Taking photographs documenting current use and current conditions of the property; and further, I release the City of Mesquite, its agents or employees from liability for any damages which may be incurred to the subject property in the erecting, maintaining, or removal of said signs or the taking of said photographs.			
Owner:  <u>TRAM HOANG</u> Address: <u>4340 I-30</u> <u>Mesquite, TX 75150</u> Signature: 		Phone: <u>(214) 418-0209</u> Fax: () _____ E-mail: <u>LILITH@FARMEREQUIPMENTLLC.COM</u>	

ATTACHMENT 6 – APPLICATION MATERIALS

FARMER EQUIPMENT

4340 IH 30 Mesquite, TX 75150

5/11/2020

To whom it may concern:

Statement of intent and purpose

-Description of project uses,

Farmer Equipment is a company dedicated to the sale of rebuilt, new, used heavy machinery and parts to repair it.

Farmer Equipment is committed to not damaging the property nor will it impede the development and order of the merchants around.

All our utilities (drains, access roads and others) have been planned, reviewed and are working correctly.

Our business offers our clients a suitable and safe parking for their visits and equipment load.

Farmer Equipment it's free of contaminants, noise, smoke or dust that can damage the zone.

If you have any question or concern please contact Daniel Santos (214) 869 1864

ATTACHMENT 8 – RETURNED PROPERTY OWNER NOTICE



CITY OF MESQUITE
PLANNING AND ZONING COMMISSION
NOTICE OF PUBLIC HEARING

LOCATION: 4340 Interstate Highway 30
(See attached map for reference)
CASE NUMBER: Z0520-0140
APPLICANT: Daniel Santos, DBS Construction Support, LLC
REQUEST: From: "C" – Commercial with Conditional Use Permits, Ordinance No.'s 3691 & 3866, to allow for outdoor sales, display, and storage of new tractors.
To: "C" – Commercial with a Conditional Use Permit to allow for outdoor sales, display, and storage of used farm equipment.

The requested Conditional Use Permit would allow the sale, display, and storage of used farm equipment as a permitted use on the subject property. A list of permitted uses for each zoning district is available on the City's website at www.cityofmesquite.com/1250/Zoning-Ordinance. Please note that the City Council may approve a different zoning district than the one requested, except that the different district may not (1) have a maximum structure height or density that is higher than the one requested; or (2) be nonresidential when the one requested is for a residential use or vice versa.

LEGAL DESCRIPTION

Action Commercial, Block A, Lot 1

PUBLIC HEARINGS

The Planning and Zoning Commission will hold a public hearing on this request at 7:00 p.m. on Monday, **June 8, 2020**, in the City Council Chambers of City Hall located at 757 N. Galloway Ave.

The City Council will hold a public hearing on this request at 7:00 p.m. on Monday, **July 6, 2020**, at 757 N. Galloway Ave.

Questions pertaining to this case may be directed to the Planning Division at (972) 216-6346 or lfrohberg@cityofmesquite.com

REPLY FORM

State law requires that cities notify all property owners within 200 feet of any proposed zoning change. For this reason, we are sending you this notice. As a property owner within 200 feet of the property, you are urged to give your opinion on the request by attending the public hearing or by completing the form below or both. Your written reply is important and will be considered by the Commission and the Council. The reply form (below) is provided to express your opinion on this matter. The form should be returned to the Planning Division by 5:00 pm on **June 4th** to be included in the Planning and Zoning Commission packet and by 5:00 pm on **June 18th** to be included in the City Council packet. All notices received after the listed dates will still be accepted and presented to Commission/Council, but will not be included in meeting packets.

(Complete and return)

Do not write on the reverse side of this form.

By signing the form, I declare I am the owner or authorized agent of the property at the address written below.

Case Number: Z0520-0140
I am in favor of this request X
I am opposed to this request
Name (required): Barnett Signs, Inc.
Address of Noticed Property: 4340 Action Drive, Mesquite 75150
Owner Signature: [Signature] Date: 06/02/2020

Reasons (optional):

Please respond by returning to: PLANNING DIVISION
Lesley Frohberg
CITY OF MESQUITE
PO BOX 850137
MESQUITE TX 75185-0137

ATTACHMENT 9 – EXISTING CUP ORDINANCES

ORDINANCE NO. 3691
File No. 34-34

AN ORDINANCE OF THE CITY OF MESQUITE, TEXAS, AMENDING THE MESQUITE ZONING ORDINANCE ADOPTED ON SEPTEMBER 4, 1973, AND RECODIFIED ON NOVEMBER 21, 1988, SO AS TO APPROVE A CONDITIONAL USE PERMIT ON PROPERTY ZONED COMMERCIAL THEREBY ALLOWING OUTDOOR SALES, DISPLAY AND STORAGE OF TRACTORS SUBJECT TO CERTAIN STIPULATIONS; REPEALING ALL ORDINANCES IN CONFLICT WITH THE PROVISIONS OF THIS ORDINANCE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY NOT TO EXCEED TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND DECLARING AN EMERGENCY.

WHEREAS, the Planning and Zoning Commission of the City of Mesquite and the governing body of the City of Mesquite, in compliance with the Charter of the City of Mesquite and State laws with reference to granting of zoning changes under the Zoning Ordinance Regulations and Zoning Map, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to the persons interested and situated in the area, the City of Mesquite is of the opinion that the change of zoning may be granted herein.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MESQUITE, TEXAS:

SECTION 1. That the Mesquite Zoning Ordinance adopted on September 4, 1973, and recodified on November 21, 1988, be and the same is hereby amended by amending the Zoning Map of the City of Mesquite so as to approve a conditional use permit on property zoned Commercial thereby allowing outdoor sales, display and storage of tractors subject to the following stipulations:

1. Traffic circulation, parking, screening, landscaping and display and outdoor storage areas shall be in conformance with the approved concept plan (the "Plan"), including a detailed landscaping and screening plan submitted with the conditional use application and attached hereto as Exhibit "A." Screening and landscaping shall comply with the Mesquite Zoning Ordinance.
2. Outdoor display shall be limited to 18 tractors on two display pads shown on the Plan.
3. Outdoor storage shall be limited to the areas designated as such on the Plan.
4. Prior to outdoor storage of tractors and related equipment on the site, a screening fence (wood with masonry columns) must be installed as indicated on the Plan.

ATTACHMENT 9 – EXISTING CUP ORDINANCES

Zoning/File No. 34-34/November 15, 2004
Page 2 of 3

5. Outdoor storage shall not include storage of parts or disassembled tractors.
6. All tractors and equipment placed outside shall be on an approved paved surface, as described in the Mesquite Zoning Ordinance, Section 3-600.
7. All repair, assembly and servicing of tractors and related equipment shall be conducted inside an enclosed structure.
8. All structures shall meet all applicable City codes.
9. No caretakers or personnel may live on site for any period of time.
10. A preliminary plat must be approved prior to obtaining a building permit. A final plat must be recorded with Dallas County prior to obtaining a Certificate of Occupancy.

That the subject property is located at 4340 Interstate Highway 30 further described as a 10.75-acre tract being Tract 17, Page 245 of Abstract 34, and is more fully described in the approved field notes in Exhibit "B" attached hereto.

SECTION 2. That all ordinances, or portions thereof, of the City of Mesquite in conflict with the provisions of this ordinance, to the extent of such conflict are hereby repealed. To the extent that such ordinances or portions thereof are not in conflict herewith, the same shall remain in full force and effect.

SECTION 3. That the property described in Section 1 of this ordinance shall be used only in the manner and for the purposes provided for by the Mesquite Zoning Ordinance.

SECTION 4. That the foregoing change shall be, and it is, granted subject to any development of the land herein being developed in conformity with the requirements of current and/or future drainage improvement ordinances of the City of Mesquite, including Ordinance No. 3042, codified in Chapter 11 of the Mesquite City Code.

SECTION 5. That should any word, sentence, clause, paragraph or provision of this ordinance be held to be invalid or unconstitutional, the remaining provisions of this ordinance shall remain in full force and effect.

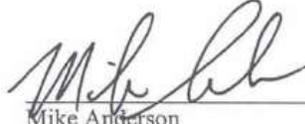
SECTION 6. That any person, firm or corporation violating any of the provisions or terms of this ordinance shall be deemed to be guilty of a Class C Misdemeanor and upon conviction in the Municipal Court, shall be punished by a fine not to exceed Two Thousand Dollars (\$2,000.00) for each offense.

SECTION 7. That the property described in Section 1 of this ordinance requires that it be given the above classification in order to permit its proper development and in order to protect the public interest, comfort and general welfare of the City of Mesquite, creates an urgency and emergency for the preservation of the public health, safety and welfare, and requires that this ordinance shall take effect immediately from and after its passage and publication of said ordinance as the law in such cases provides.

ATTACHMENT 9 – EXISTING CUP ORDINANCES

Zoning/File No. 34-34/November 15, 2004
Page 3 of 3

DULY PASSED AND APPROVED by the City Council of the City of Mesquite, Texas,
on the 15th day of November, 2004.



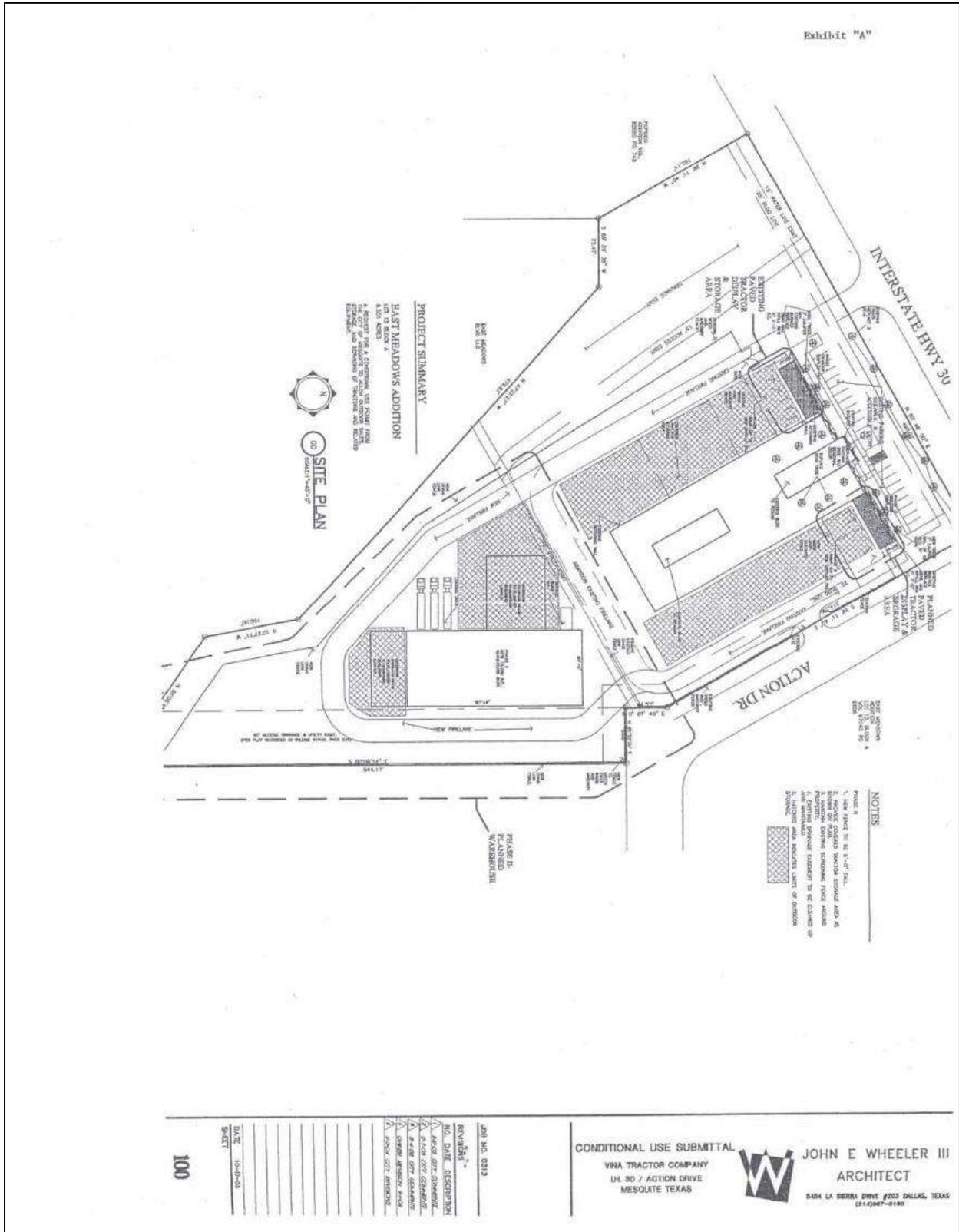
Mike Anderson
Mayor

ATTEST:

APPROVED:


Judy Womack
City Secretary
B. Smith
City Attorney

ATTACHMENT 9 – EXISTING CUP ORDINANCES



ATTACHMENT 9 – EXISTING CUP ORDINANCES

ORDINANCE NO. 3866

File No. 34-41

AN ORDINANCE OF THE CITY OF MESQUITE, TEXAS, AMENDING THE MESQUITE ZONING ORDINANCE ADOPTED ON SEPTEMBER 4, 1973, AND RECODIFIED ON NOVEMBER 21, 1988, BY AMENDING THE CONDITIONAL USE PERMIT APPROVED BY ORDINANCE NO. 3691 BY AMENDING THE FENCING REQUIREMENTS WITH CERTAIN STIPULATIONS ON PROPERTY LOCATED AT 4340 INTERSTATE HIGHWAY 30; REPEALING ALL ORDINANCES IN CONFLICT WITH THE PROVISIONS OF THIS ORDINANCE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY NOT TO EXCEED TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND DECLARING AN EMERGENCY.

WHEREAS, the Planning and Zoning Commission of the City of Mesquite and the governing body of the City of Mesquite, in compliance with the Charter of the City of Mesquite and State laws with reference to granting of zoning changes under the Zoning Ordinance Regulations and Zoning Map, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to all persons interested and situated in the area, the City of Mesquite is of the opinion that the change of zoning may be granted herein.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MESQUITE, TEXAS:

SECTION 1. That the Mesquite Zoning Ordinance adopted on September 4, 1973, and recodified on November 21, 1988, be and the same is hereby amended by amending the Conditional Use Permit approved by Ordinance No. 3691 by amending the fencing requirements subject to the following stipulations on the property located at 4340 Interstate Highway 30:

1. The existing wood and wrought iron fence currently located in the front of the property be repaired to good condition.
2. The proposed fence is erected at a height no higher than five feet.
3. The proposed fence must be of wrought iron material (no chain link fencing).

SECTION 2. That all ordinances, or portions thereof, of the City of Mesquite in conflict with the provisions of this ordinance, to the extent of such conflict are hereby repealed. To the extent that such ordinances or portions thereof are not in conflict herewith, the same shall remain in full force and effect.

SECTION 3. That the property described in Section 1 of this ordinance shall be used only in the manner and for the purposes provided for by the Mesquite Zoning Ordinance.

ATTACHMENT 9 – EXISTING CUP ORDINANCES

Zoning Ordinance/File No. 34-41/May 7, 2007
Page 2 of 2

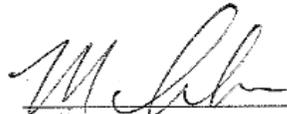
SECTION 4. That the foregoing change shall be, and it is, granted subject to any development of the land herein being developed in conformity with the requirements of current and/or future drainage improvement ordinances of the City of Mesquite, including Ordinance No. 3042, codified in Chapter 11 of the Mesquite City Code.

SECTION 5. That should any word, sentence, clause, paragraph or provision of this ordinance be held to be invalid or unconstitutional, the remaining provisions of this ordinance shall remain in full force and effect.

SECTION 6. That any person, firm or corporation violating any of the provisions or terms of this ordinance shall be deemed to be guilty of a Class C Misdemeanor and upon conviction in the Municipal Court, shall be punished by a fine not to exceed Two Thousand Dollars (\$2,000.00) for each offense.

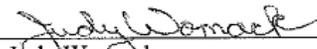
SECTION 7. That the property described in Section 1 of this ordinance requires that it be given the above classification in order to permit its proper development and in order to protect the public interest, comfort and general welfare of the City of Mesquite, creates an urgency and emergency for the preservation of the public health, safety and welfare, and requires that this ordinance shall take effect immediately from and after its passage and publication of said ordinance as the law in such cases provides.

DULY PASSED AND APPROVED by the City Council of the City of Mesquite, Texas, on the 7th day of May, 2007.

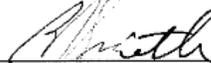


Mike Anderson
Mayor

ATTEST:


Judy Wornack
City Secretary

APPROVED:


B. J. Smith
City Attorney



PLANNING AND ZONING DIVISION

FILE NUMBER: Z0220-0132
REQUEST FOR: Rezoning from Commercial to Planned Development Multi-family
CASE MANAGER: Lesley Frohberg

PUBLIC HEARINGS

Planning and Zoning Commission: Monday, July 13, 2020
 City Council: Monday, August 3, 2020

GENERAL INFORMATION

Applicant: Stuart Shaw, Bonner Carrington
Requested Action: Rezoning from “C”, Commercial to “PD-MF”, Planned Development A-3 Multifamily to allow the development of a 180 unit, age-restricted, apartment building.
Location: 521, 623, 655, 699, 761, & 891 E. US Highway 80

SITE BACKGROUND

Platting: Unplatted; Henry Harter Survey, Tracts 22, 23, 24, 28, & 31, Abstract No. 594, William Rowe Survey, Tracts 28 & 22, Abstract No. 1256, and William Foreman Survey, Tract 22, Abstract No. 486 all within City of Mesquite, Dallas County, Texas
Size: 13.05 Acres (consisting of portions of 6 parcels)
Zoning: C, Commercial
Future Land Use: Commercial
Zoning History: 1951: Annexed into City of Mesquite, Zoned Residential
 1955: Portion rezoned to C, Commercial (Ord. No. 129)
 1964: Portion rezoned to C, Commercial (Ord. No. 521)
 1968: Portion rezoned to C, Commercial (Ord. No. 759)

Surrounding Zoning and Land Uses (see attachment 3):

	<u>ZONING</u>	<u>EXISTING LAND USE</u>
NORTH:	R-3 - Single Family Residential	Single Family Residential
SOUTH:	THN - Truman Heights Neighborhood	US Hwy 80
EAST:	C - Commercial	Concrete Batch Plant
WEST:	C - Commercial & PD-MF – Planned Development Multifamily	Multifamily Apartments & Vacant/Undeveloped

CASE SUMMARY

The applicant, Mariposa Mesquite LP, is requesting a zoning change from C, Commercial to PD-MF, Planned Development Multifamily to develop Mariposa Apartment Homes at Mesquite; a 180 dwelling unit, age-restricted (age 55+) apartment complex with indoor and outdoor amenities. The PD is proposed to have 107 one-bedroom/one-bathroom units and 73 two-bedroom/two-bathroom units among five buildings. Each apartment unit is designed with a balcony and is provided with two off-street parking spaces. There are three different kinds of parking spaces provided; uncovered, garage, and carport.

The applicant has applied to the Texas Department of Housing and Community Affairs (TDHCA) in the 2020 round competitive 9% Low Income Housing Tax Credits (LIHTCs) for this development. On February 17, 2020, City Council adopted Resolution No. 09-2020, expressing support of the proposed development's application to TDHCA. Mariposa Apartment Homes at Mesquite would serve the elderly population at income levels at or below 60% of the area median income and market rate. At this time, the TDHCA has not awarded the 2020 Competitive LIHTCs.

In 2019 City Council passed Ordinance No. 4676, which provides supplementary development standards for all multifamily residential developments exceeding 25 dwelling units. The supplementary development standards, found in Section 2-501 of the Mesquite Zoning Ordinance, state minimum requirements for items such as setbacks, density, screening, security, amenities, landscaping, and parking. The proposed development meets all requirements in Section 2-501 except for the requested modification to allow parking within the front yard setback and to allow the parking to be in front of the building.

If this PD request is approved, an amendment of the Mesquite Comprehensive Plan Future Land Use Map from Commercial to High Density Residential is required.

MESQUITE COMPREHENSIVE PLAN

The Mesquite Comprehensive Plan designates the future land use of the subject property as Commercial and Corridor Development. The Commercial land use designation represents a broad range of goods and services for a community or region. Development in this category are larger and more intense than those in the Neighborhood Retail category. The Corridor Development designation represents commercial development that is located along a major corridor. Developments within these corridors are highly visible and enhanced landscaping and public art is encouraged in this area. Compatible land use types for this area include retail, hotels, restaurants, big box retailers, entertainment, and personal services.

STAFF COMMENTS:

The request for a Planned Development Multifamily would require an amendment of the *Mesquite Comprehensive Plan's* Future Land Use Map from Commercial to High Density Residential. Land uses along highways are typically tailored towards retail and entertainment; however, a high-density residential development would serve as a buffer between the single family residential homes to the north and future commercial development along E. US Highway

80. Additionally, the PD request would support the *Mesquite Comprehensive Plan* implementation strategy for Housing and Neighborhoods to provide a variety of housing types and densities to ensure diverse housing choices for a variety of income levels.

MESQUITE ZONING ORDINANCE

SEC. 4-201(A): PROPOSED USES

“An application for a PD district shall specify and the PD ordinance shall incorporate the category or type of use or the combination of uses, which are to be permitted in the PD district. Uses may be specified by reference to a specific zoning district, in which case all uses permitted in the referenced district, including those permitted through the cumulative provision of the zoning ordinance, shall be permitted in the PD district. Uses requiring a Conditional Use Permit under the referenced district shall require a Conditional Use Permit under the PD district unless such use is specifically set out as permitted in the PD ordinance.”

STAFF COMMENTS:

The proposed PD will utilize the A-3, Multifamily zoning district as its base zone to accommodate multifamily development at average to higher densities. All applicable uses from the Mesquite Zoning Ordinance will apply to this development.

SEC. 4-201(B): DEVELOPMENT REQUIREMENTS

“An application for a PD district shall specify and the PD ordinance shall incorporate the development requirements and standards which are to be required in the PD district. Development requirements and standards may include, but are not limited to, density, lot size, unit size, setbacks, building heights, lot coverage, parking ratios, screening and other requirements or standards as the Council may deem appropriate. Development requirements and standards may be specified by reference to a specific zoning district, in which case all requirements and standards in the referenced district shall be applicable. The applicant or the City may propose varied or different standards that improve development design or enable a unique development type not otherwise accommodated in the Zoning Ordinance.”

STAFF COMMENTS:

Attachment 6 provides development standards for the PD, which includes modifications to the parking requirements, enhanced landscaping requirements, and requires all residents to be 55+ years old. Staff has reviewed and discussed the proposed modified standards with the applicant, and it is Staff’s opinion that the changes meet and or exceed the spirit and intent of the Mesquite Zoning Ordinance, Community Appearance Manual (transparency requirements), and supports the implementation strategies of the *Mesquite Comprehensive Plan*.

SEC. 4-201(C): CONCEPT PLAN

“An application for a PD District shall include a concept plan showing a preliminary layout of proposed uses, access, buildings, parking, open space and the relationship to existing natural features and to adjacent properties and uses. The concept plan shall be construed as an illustration of the development concepts and not as an exact representation of all specific details.”

STAFF COMMENTS:

Attachment 7 includes the concept plan. Staff has reviewed the concept plan based upon the supplementary development standards for multifamily in Section 2-501 of the Mesquite Zoning Ordinance and the proposed PD development standards. Staff finds that all requirements are being met, except as modified herein.

SEC. 2-501: MULTIFAMILY RESIDENTIAL DEVELOPMENT STANDARDS

The standards set out in Section 2-501 shall be required for multifamily uses in all districts and shall serve as guidelines for review of multifamily developments in PD districts. Multifamily developments or redevelopments that include more than 25 dwelling units require Planned Development district zoning.

STAFF COMMENTS:

The application has proposed to meet all of the requirements within Section 2-501 for multifamily residential development, with a modification to Section 2-501(K)(1) for off-street parking. Section 2-501(K)(1) requires that “in no case shall parking be provided between any building and any public street, nor shall parking be permitted in any front or exterior side setback”. As shown on the Concept Plan (attachment 6), there are a total of 86 covered and uncovered parking spaces proposed between the principal structure and E. US Highway 80 and approximately 12 parking spaces in the front setback (25 feet). The spaces proposed between the front of the principal structure and E. US Highway 80 account for 24% of all proposed parking on site. Staff does not anticipate adverse impacts will be caused by allowing parking spaces to be located between the building and E. US Highway 80 service road as it is a common characteristic along US Highway 80.

A 6-foot tall long-span precast concrete decorative screening wall will be constructed along the north property line with a tree buffer line to provide proper screening from the single family homes to the north according to Section 1A-303(2): Alternate Screening – Increased Building Setbacks of the Mesquite Zoning Ordinance. Section 1A-303(2): Alternate Screening – Increased Building Setbacks allows for a height reduction from 8-feet to 6-feet for the screening wall if an increased building setback is provided. All minimum landscape requirements will be met.

Based upon the amenity requirements of Section 2-501, this PD is required to have a minimum of five indoor amenities and four outdoor amenities. The applicant is proposing to exceed the requirement by providing six indoor amenities for residents, including a clubroom, fitness facility, business center, media room, recreation room, and salon. Additionally, eight outdoor amenities are proposed, including a swimming pool, outdoor cooling facilities, fire pit, dog park, permanent shade structures with seating, raised garden planters, outdoor game area, and a rose garden.

SEC. 2-501(O): TRAFFIC IMPACT ANALYSIS

“The proposed construction of 50 or more multifamily dwelling units, whether a new development or expansion of an existing development, shall require a traffic impact analysis. The traffic impact analysis shall include an analysis of pedestrian facilities serving the site.”

STAFF COMMENTS:

The Manager of Traffic Engineering determined that a Traffic Impact Analysis would not be required based upon the anticipated trip generation of the proposed 180 unit, age-restricted apartment complex. According to the ITE Trip Generation Manual Land Use Code 252 for Senior Adult Housing, past studies and empirical data indicate that the number of trips generated by this land use for daily or in the peak hour will not reach the City defined threshold of number of trips generated to require a TIA. The number of trips generated by this land use are typically less than a similar, non-age-restricted apartment complex because residents may be retired, therefore not commuting to work, and generally have a lower rate of automobile ownership.

SEC. 2-501(P): SCHOOL IMPACT ANALYSIS

“All requests for rezoning for any development that includes 25 or more multifamily dwelling units, whether a new development or expansion of an existing development, shall require an analysis of the expected impact on the public school system. The school impact analysis shall be submitted to the Director of Planning and Development Services and the applicable school district no less than seven days prior to consideration of the zoning request by the Planning and Zoning Commission.”

STAFF COMMENTS:

A School Impact Analysis was submitted, which concluded that there would be no impact to the surrounding schools as residents will be restricted to adults 55+ years old.

CONCLUSIONS

ANALYSIS

The proposed planned development supports the implementation strategy for Housing and Neighborhoods to provide a variety of housing types and densities and meets the spirit of the Mesquite Zoning Ordinance.

RECOMMENDATIONS

Staff recommends approving the request to rezone the subject property to PD – Multifamily, located at 521, 623, 655, 699, 761, & 891 E. US Highway 80.

PUBLIC NOTICE

Staff mailed notices to all property owners within 200 feet of the subject property. As of the date of this writing, Staff has received two returned notices in opposition of the request and one in favor of the request.

CODE CHECK

Staff conducted a site visit to the subject property and did not find any visible code issues or possible violations as of the date of this writing.

ATTACHMENTS

1. Aerial Map
2. Public Notification Map
3. Zoning Map
4. Future Land Use Map
5. Site Pictures
6. Development Standards
7. Concept Plan
8. Returned Notices

Aerial Map



Request: Rezoning from C, Commercial to PD-MF,
Planned Development A-3 Multifamily
Applicant: Stuart Shaw, Bonner Carrington
Location: 521, 623, 655, 699, 761, and 891 E. US Hwy 80

Legend

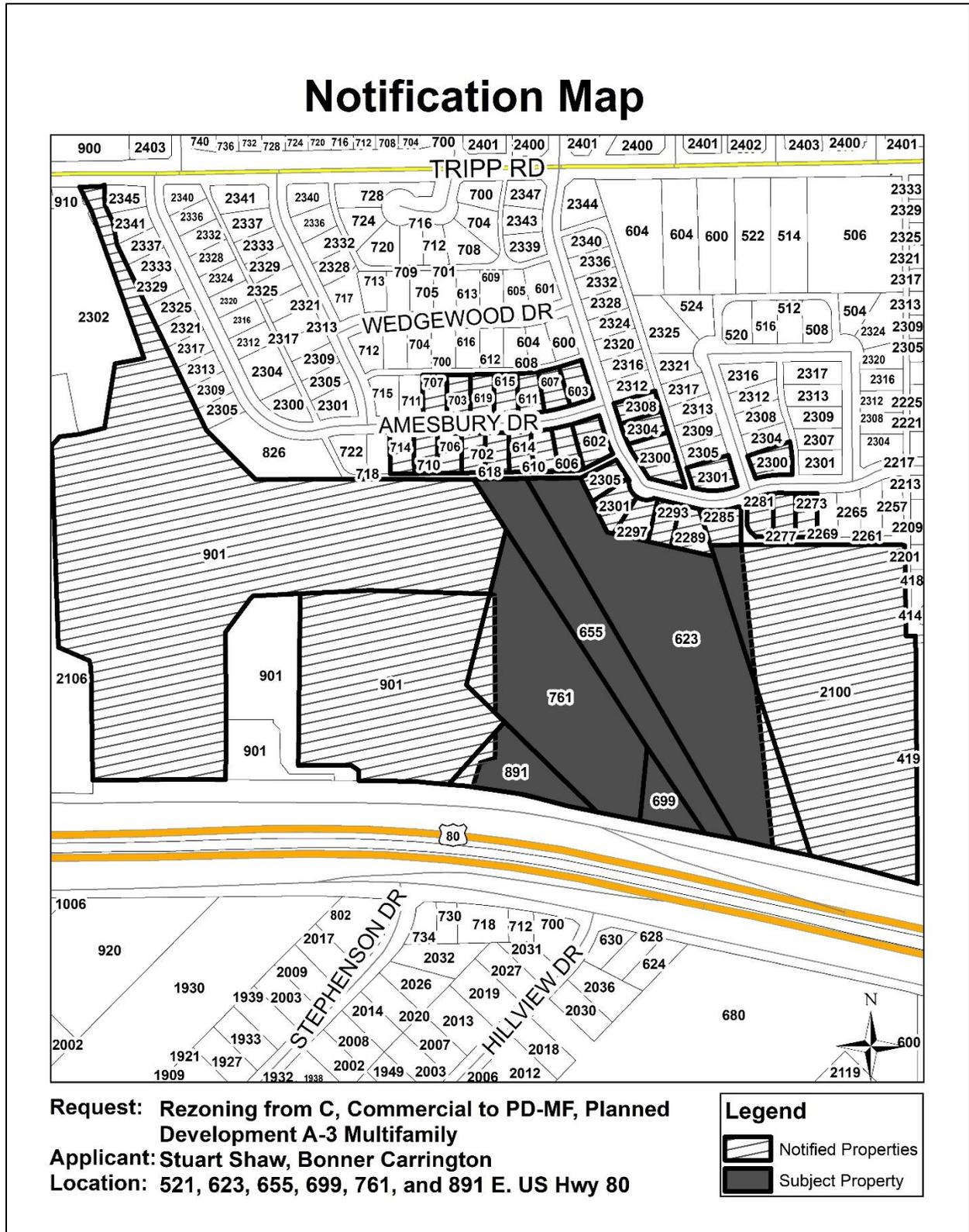
 Subject Property

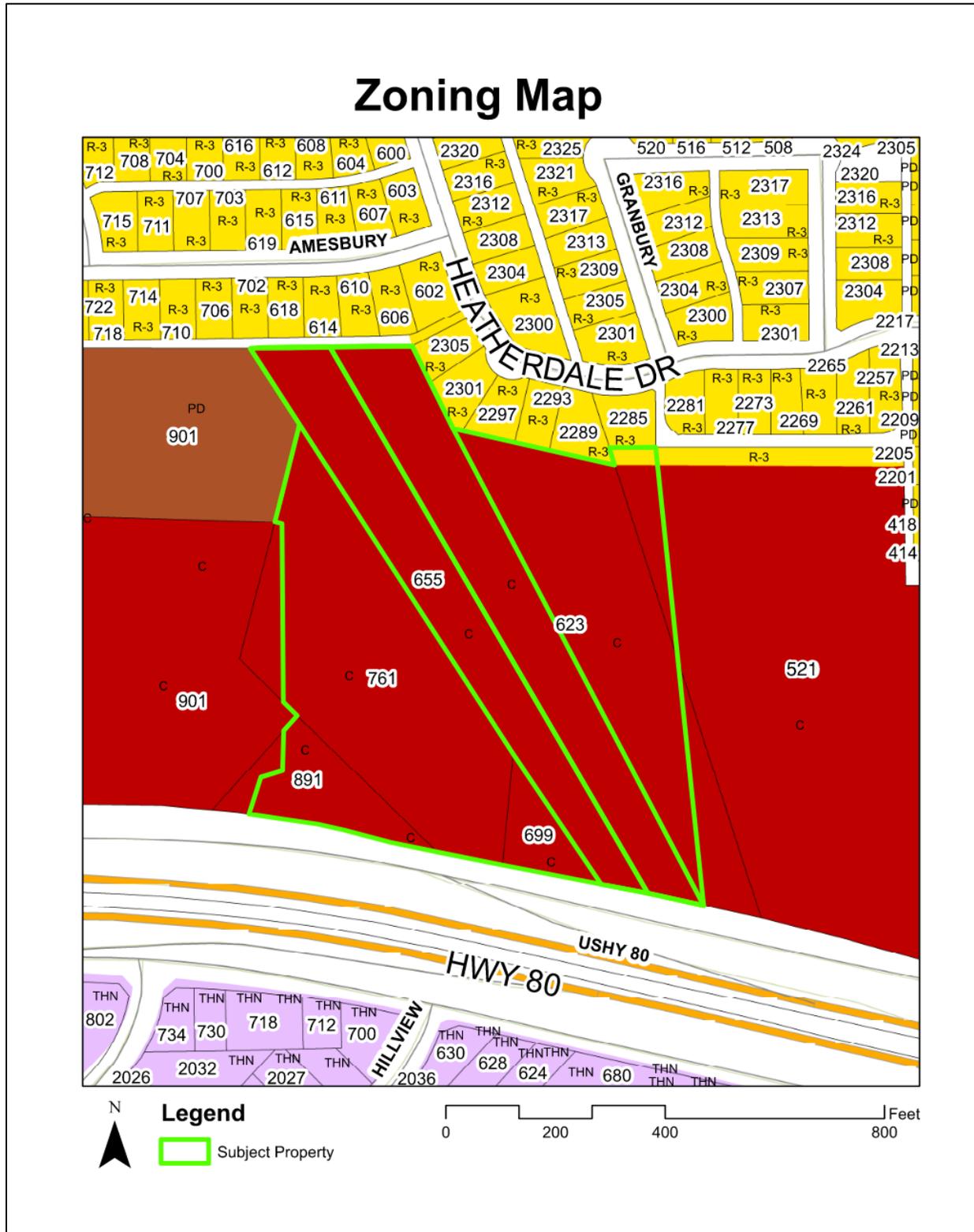
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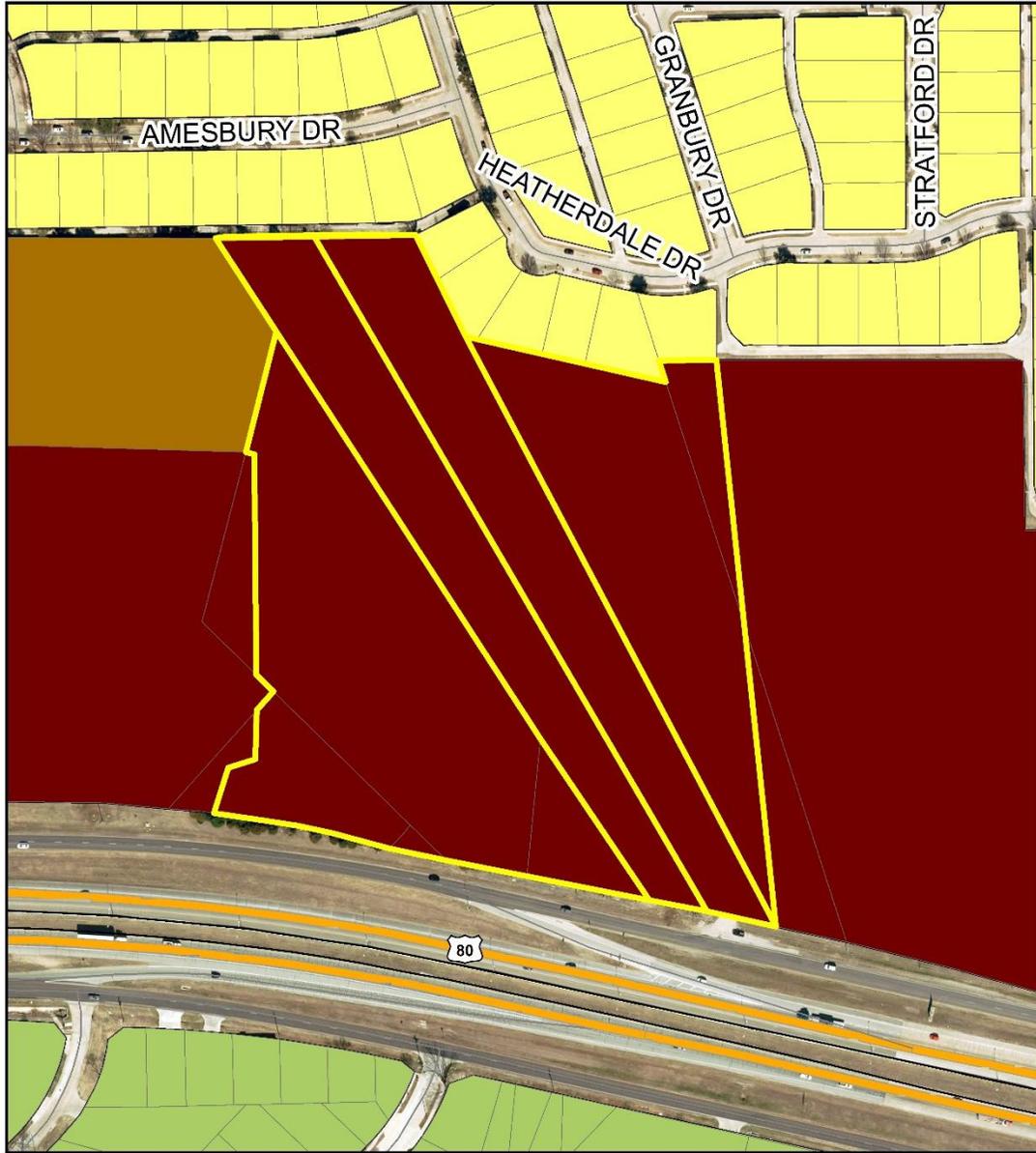
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ATTACHMENT 2 – PUBLIC NOTIFICATION MAP



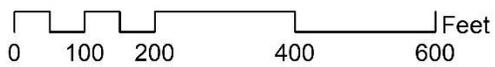


Future Land Use Map



Land Use

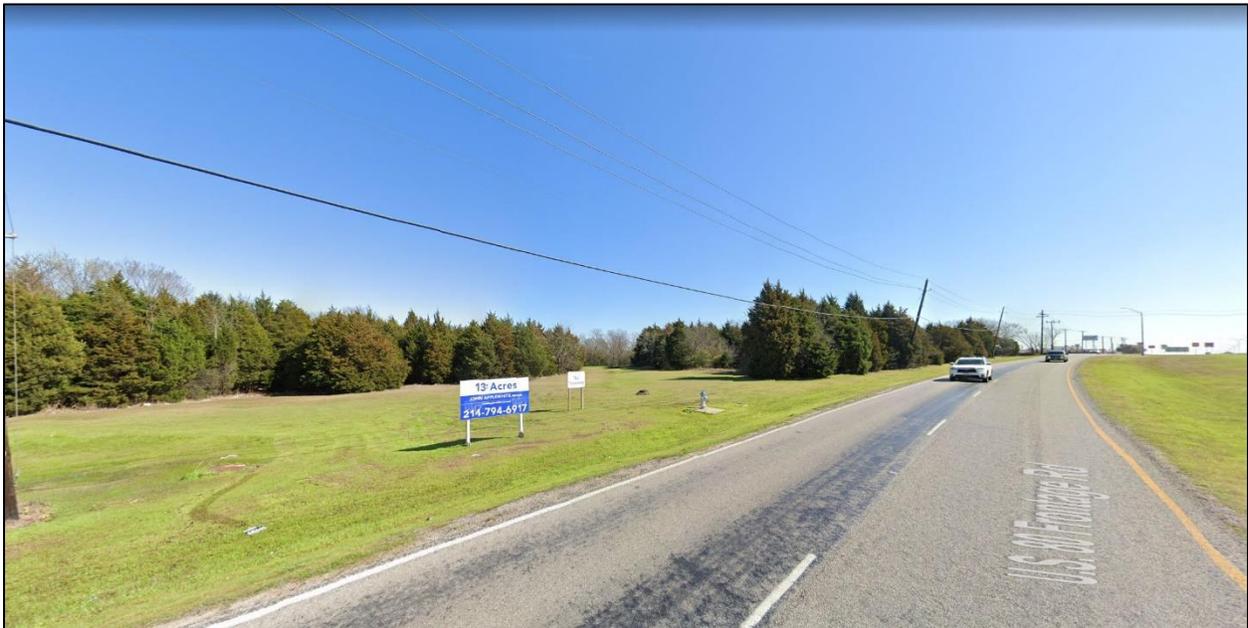
Low Density Residential	Commercial
Truman Heights Special Planning Area	High Density Residential
Subject Property	



ATTACHMENT 5 – SITE PICTURES



Subject property at Galloway Ave. exit on US Hwy 80, facing northwest



Subject property along US Hwy 80 Frontage Rd., facing northeast

ATTACHMENT 5 – SITE PICTURES



Subject property from alley along Amesbury Dr., facing southeast



Subject property from alley along Heatherdale Dr., facing southwest

ATTACHMENT 6 – DEVELOPMENT STANDARDS

Planned Development Standards
Ordinance No. XXXX
Z0220-0132

This Planned Development Multifamily (PD-MF) must adhere to all conditions of the Mesquite Code of Ordinances, as amended, and adopted based district standards corresponding with the Concept Plan attached hereto and incorporated herein as Exhibit C and as identified below. The following regulations must be specific to the PD-MF District. Where these regulations conflict with or overlap another ordinance, or easement, the more stringent restriction will prevail.

- A. **Permitted Land Uses.** Uses in the PD-MF are limited to those permitted in the A – Multifamily Residential zoning district, as amended, and subject to the following.
1. Any land use requiring a Conditional Use Permit (CUP) in the A zoning district, as amended, is only allowed if a CUP is issued for the use.
 2. Any land use prohibited in the A zoning district, as amended, is also prohibited.
 3. All residents of any multifamily residential land use must be at least 55 years of age or greater.
- B. **Development Standards.** In addition to the requirements of the A based zoning district, this Planned Development is subject to the following:
1. Open space, as defined by the Zoning Ordinance, must be a minimum of 15% of the lot.
 2. All mechanical units at the ground floor shall be screened with shrubs, ornamental grassed, ornamental trees, or evergreen trees.
 3. All fencing shall be maintained in a like-new manner meaning, any portion of fencing showing signs of deterioration, broken or missing panels, or creates a safety hazard, shall be replaced.
 4. Off-street parking spaces may be within the front yard setback but shall be at least 11 feet from the curb line of a public or private street.
 5. Off-street parking may be located between any buildings and public streets.

ATTACHMENT 8 – RETURNED NOTICE



CITY OF MESQUITE
PLANNING AND ZONING COMMISSION
NOTICE OF PUBLIC HEARING

LOCATION: 521, 623, 655, 699, 761, and 891 E. US Highway 80
(See attached map for reference)
CASE NUMBER: Z0220-0132
APPLICANT: Stuart Shaw, Bonner Carrington
REQUEST: From: "C" – Commercial
To: "PD-MF" – Planned Development A-3 Multifamily

The rezoning request would allow for the development of a 180 unit, age restricted, multifamily development following the A-3 multifamily zoning district as a permitted use on the subject property. A list of permitted uses for each zoning district is available on the City's website at www.cityofmesquite.com/1250/Zoning-Ordinance. Please note that the City Council may approve a different zoning district than the one requested, except that the different district may not (1) have a maximum structure height or density that is higher than the one requested; or (2) be nonresidential when the one requested is for a residential use or vice versa.

LEGAL DESCRIPTION

13.05 +/- acres located in the Henry Harter Survey, Tracts 22, 23, 24, 28, & 31, Abstract No. 594, William Rowe Survey, Tracts 28 & 22, Abstract No. 1256, and William Foreman Survey, Tract 22, Abstract No. 486 all within City of Mesquite, Dallas County, Texas.

PUBLIC HEARINGS

The Planning and Zoning Commission will hold a public hearing on this request at 7:00 p.m. on Monday, **July 13, 2020**, at City Hall located at 757 N. Galloway Ave.

The City Council will hold a public hearing on this request at 7:00 p.m. on Monday, **August 3, 2020**, at 757 N. Galloway Ave.

Questions pertaining to this case may be directed to the Planning Division at (972) 216-6346 or lfrohberg@cityofmesquite.com

REPLY FORM

State law requires that cities notify all property owners within 200 feet of any proposed zoning change. For this reason, we are sending you this notice. As a property owner within 200 feet of the property, you are urged to give your opinion on the request by attending the public hearing or by completing the form below or both. Your written reply is important and will be considered by the Commission and the Council. The reply form (below) is provided to express your opinion on this matter. The form should be returned to the Planning Division by 5:00 pm on **July 9th** to be included in the Planning and Zoning Commission packet and by 5:00 pm on **July 23rd** to be included in the City Council packet. All notices received after the listed dates will still be accepted and presented to Commission/Council, but will not be included in meeting packets.

(Complete and return)

Do not write on the reverse side of this form.

By signing the form, I declare I am the owner or authorized agent of the property at the address written below.

Case Number: Z0220-0132
I am in favor of this request
I am opposed to this request
Name:(required) Jaith Deaton Robertson
Address of Noticed Property: 603 Amesbury
Owner Signature: Jaith D. Robertson Date: 7/4/2020

Reasons (optional):

RECEIVED

JUL 08 2020

PLANNING AND ZONING

Please respond by returning to: PLANNING DIVISION
Lesley Frohberg
CITY OF MESQUITE
PO BOX 850137
MESQUITE TX 75185-0137

ATTACHMENT 8 – RETURNED NOTICE



CITY OF MESQUITE
PLANNING AND ZONING COMMISSION
NOTICE OF PUBLIC HEARING

LOCATION: 521, 623, 655, 699, 761, and 891 E. US Highway 80
(See attached map for reference)
CASE NUMBER: Z0220-0132
APPLICANT: Stuart Shaw, Bonner Carrington
REQUEST: From: "C" – Commercial
To: "PD-MF" – Planned Development A-3 Multifamily

The rezoning request would allow for the development of a 180 unit, age restricted, multifamily development following the A-3 multifamily zoning district as a permitted use on the subject property. A list of permitted uses for each zoning district is available on the City's website at www.cityofmesquite.com/1250/Zoning-Ordinance. Please note that the City Council may approve a different zoning district than the one requested, except that the different district may not (1) have a maximum structure height or density that is higher than the one requested; or (2) be nonresidential when the one requested is for a residential use or vice versa.

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(Complete and return)

Do not write on the reverse side of this form.

By signing the form, I declare I am the owner or authorized agent of the property at the address written below.

Case Number: Z0220-0132

I am in favor of this request

I am opposed to this request

Reasons (optional):

Name:(required)

Address of
Noticed Property:

Owner Signature:

Date:

Jean Bavender

2300 Granburg Dr. Mesquite, Tx

Jean Bavender

7/3/20

Reduce value of Residential Houses

Please respond by returning to: PLANNING DIVISION
Lesley Frohberg
CITY OF MESQUITE
PO BOX 850137
MESQUITE TX 75185-0137

RECEIVED
JUL 08 2020
PLANNING AND ZONING

ATTACHMENT 8 – RETURNED NOTICE



CITY OF MESQUITE
PLANNING AND ZONING COMMISSION
NOTICE OF PUBLIC HEARING

LOCATION: 521, 623, 655, 699, 761, and 891 E. US Highway 80
(See attached map for reference)
CASE NUMBER: Z0220-0132
APPLICANT: Stuart Shaw, Bonner Carrington
REQUEST: From: "C" – Commercial
To: "PD-MF" – Planned Development A-3 Multifamily

The rezoning request would allow for the development of a 180 unit, age restricted, multifamily development following the A-3 multifamily zoning district as a permitted use on the subject property. A list of permitted uses for each zoning district is available on the City's website at www.cityofmesquite.com/1250/Zoning-Ordinance. Please note that the City Council may approve a different zoning district than the one requested, except that the different district may not (1) have a maximum structure height or density that is higher than the one requested; or (2) be nonresidential when the one requested is for a residential use or vice versa.

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(Complete and return)

Do not write on the reverse side of this form.

By signing the form, I declare I am the owner or authorized agent of the property at the address written below.

Case Number: Z0220-0132 Name:(required) JOHN K. JOHN
I am in favor of this request Address of Noticed Property: 2281-HEATHER DALE DR
I am opposed to this request Owner Signature: John K John Date: 07-06-2020

Reasons (optional):

RECEIVED
JUL 09 2020
PLANNING AND ZONING

Please respond by returning to: PLANNING DIVISION
Lesley Frohberg
CITY OF MESQUITE
PO BOX 850137
MESQUITE TX 75185-0137



PLANNING AND ZONING DIVISION

FILE NUMBER: Z0620-0142
REQUEST FOR: Planned Development Amendment
CASE MANAGER: Garrett Langford, Manager of Planning and Zoning

PUBLIC HEARINGS

Planning and Zoning Commission: Monday, July 13, 2020
 City Council: Monday, August 3, 2020

GENERAL INFORMATION

Applicant: MM Mesquite 50, LLC.
Requested Action: Zoning change to amend Planned Development Ordinance No. 4595 to allow an amenity center, a convenience store with fuel sales and modify the screening wall requirements
Location: Generally located south of W. Sycene Road and west of Rodeo Center Blvd

SITE BACKGROUND

Platting: Not platted
Size: 56 +/- acres
Zoning: Planned Development Ordinance No. 4595
Future Land Use: Low Density Residential, Neighborhood Retail, Commercial
Zoning History (note: past zoning changes applied to part or all of the subject property):
 1951: Annexed and zoned Residential
 1958: Rezoned to Commercial, Special Use Permit
 1968: Rezoned to Commercial
 1984: Rezoned to Light Commercial
 1986: Mesquite Arena Rodeo Entertainment Overlay District
 2005: Rezoned to PD – Light Commercial
 2006: Rezoned to PD – Townhomes
 2018: Rezoned to PD Ordinance No. 4595

Surrounding Zoning and Land Uses (see attachment 3):

	<u>ZONING</u>	<u>EXISTING LAND USE</u>
NORTH:	General Retail and Commercial	Retail and Restaurants
EAST:	C - Commercial	Limited Service Hotels
SOUTH:	PD - Planned Development	Mesquite Arena
WEST:	R-3, Single Family Residential	Single Family Homes

CASE SUMMARY

The developer, MM Mesquite 50, LLC., is requesting amendments to the current zoning, Planned Development (PD) Ordinance 4595, to allow an amenity center, a convenience store with fuel sales, and to modify the screening wall requirements. City Council approved PD Ordinance 4595 in 2018 to allow a townhome, retail, and restaurant development known as Iron Horse. The residential portion of the development is currently under construction.

The developer may add an amenity center, as shown in Attachment 9, for the future residents of the development. The Concept Plan in PD Ordinance 4595 did not include an amenity center, nor does it list it as a permitted use. The underlying residential zoning also does not permit a neighborhood amenity center by right. As part of the PD amendment request, the developer would like the ability to install an amenity center in the future. If approved, the PD amendment will allow the amenity center but not require it.

The second part of the PD amendment is allowing a convenience store with fuel sales at the southeast corner of W. Scyene Road and Rodeo Drive (Tract 1D). The proposed PD amendments will include adding two new Concept Plans (1A and 1B) showing two scenarios for Tract 1D, as shown in Attachment 8. Concept Plan 1A shows 16 fueling positions with a 4,650 sqft convenience store that may include a restaurant within the building. Concept Plan 1B shows 12 fueling positions with a 4,088 sqft convenience store and a stand-alone, drive-through restaurant building. City Council could approve both Concept Plan options or only adopt one of them.

The third amendment to the PD is to replace Exhibit F – Screening in PD Ordinance 4595 with a new exhibit showing the reduced screening wall height from 8 feet to 6 feet in certain areas. It would also replace the masonry screening wall at the northeast side of Tract 1B-1 with a six-foot wrought iron fence with landscaping. The development includes several large retaining walls due to the dramatic changes in grade. Currently, Exhibit F requires an 8-ft masonry wall where it would be placed at the top of some of the large retaining walls. Given the grade differences between residential and non-residential uses, an 8-ft masonry wall may not be necessary. The new Exhibit F is shown in Attachment 7.

MESQUITE COMPREHENSIVE PLAN

The *Mesquite Comprehensive Plan* adopted in 2019 designates parts of the subject property to reflect the land uses that were approved in PD Ordinance 4595. Those land use designations include Low Density Residential, Neighborhood Retail, and Commercial.

- Low Density Residential represents a traditional single family detached neighborhood where each dwelling unit is located on an individual lot.
- Neighborhood Retail land use designation represents a variety of retail and personal service businesses that meet the daily needs of the residents.
- Commercial land use designation represents a broad range of goods and services for a community or region. Developments in this category are larger and more intense than those in the Neighborhood Retail category.

STAFF COMMENTS:

If approved, the proposed PD amendments comply with the *Mesquite Comprehensive Plan*. The added use of a convenience store with fuel sales is located on the subject property, where it is designated for Neighborhood Retail by the *Mesquite Comprehensive Plan*.

MESQUITE ZONING ORDINANCE

SECTION 4-201(A) PROPOSED USES

“An application for a PD district shall specify and the PD ordinance shall incorporate the category or type of use or the combination of uses, which are to be permitted in the PD district. Uses may be specified by reference to a specific zoning district, in which case all uses permitted in the referenced district, including those permitted through the cumulative provision of the zoning ordinance, shall be permitted in the PD district. Uses requiring a Conditional Use Permit under the referenced district shall require a Conditional Use Permit under the PD district unless such use is specifically set out as permitted in the PD ordinance.”

STAFF COMMENTS:

The proposed PD amendments will not change in the underlying zoning. The amendment will add the amenity center and convenience store with fuel sales to the PD Ordinance 4595 as permitted uses. All other use requirements in PD Ord 4595 will continue to apply.

SEC. 4-201(B) DEVELOPMENT REQUIREMENTS

“An application for a PD district shall specify and the PD ordinance shall incorporate the development requirements and standards which are to be required in the PD district. Development requirements and standards may include, but are not limited to, density, lot size, unit size, setbacks, building heights, lot coverage, parking ratios, screening and other requirements or standards as the Council may deem appropriate. Development requirements and standards may be specified by reference to a specific zoning district, in which case all requirements and standards in the referenced district shall be applicable. The applicant or the City may propose varied or different standards that improve development design or enable a unique development type not otherwise accommodated in the Zoning Ordinance.”

STAFF COMMENTS:

The proposed PD amendments will not modify the landscaping and design that are already in place in PD Ordinance 4595 beyond what is proposed in the amendments. It is Staff’s opinion that the existing PD with the proposed amendments will meet or exceed the spirit and intent of the Mesquite Zoning Ordinance and *Mesquite Comprehensive Plan*.

SEC. 4-201(C) CONCEPT PLAN

“An application for a PD District shall include a concept plan showing a preliminary layout of proposed uses, access, buildings, parking, open space and the relationship to existing natural features and to adjacent properties and uses. The concept plan shall be construed as an illustration of the development concepts and not as an exact representation of all specific details.”

STAFF COMMENTS:

Exhibit C (attachment 8) includes the concept plans for Tract 1D. Concept Plans 1A and 1B both include enhanced landscaping with enhanced landscaped features near the intersection of W Scyene Rd and Rodeo Drive. The existing Concept Plan in PD Ordinance 4595 would continue to apply to Tracts 1A, 1B-1, 1B-2, 1C, 2A, 2B, and 3.

CONCLUSIONS

ANALYSIS

The initial vision for Iron Horse development did not involve a convenience store with fuel sales. However, the proposed convenience store with fuel sales will be located where the Mesquite Comprehensive Plan designates it for neighborhood retail use. A convenience store can be considered as a neighborhood retail use. It is Staff's opinion that the proposed PD amendments comply with the *Mesquite Comprehensive Plan*.

RECOMMENDATIONS

Staff recommends approval of the zoning change to amend PD Ordinance 4595 with the following stipulations:

1. Add Exhibit G (Concept Plan 1A and 1B) for Tract 1D.
2. Revise Exhibit D (Permitted Uses and Development Standards) with the removed language marked by strikethrough and the added language marked with the underline, as shown.
3. Replace Exhibit F – Screening with a new Exhibit F – Screening showing six-foot wall heights and wrought iron fence with landscaping as shown in the Exhibit.

PUBLIC NOTICE

Staff mailed notices to all property owners within 200 feet of the subject property. As of the date of this writing, Staff has received one returned notice in opposition to the request.

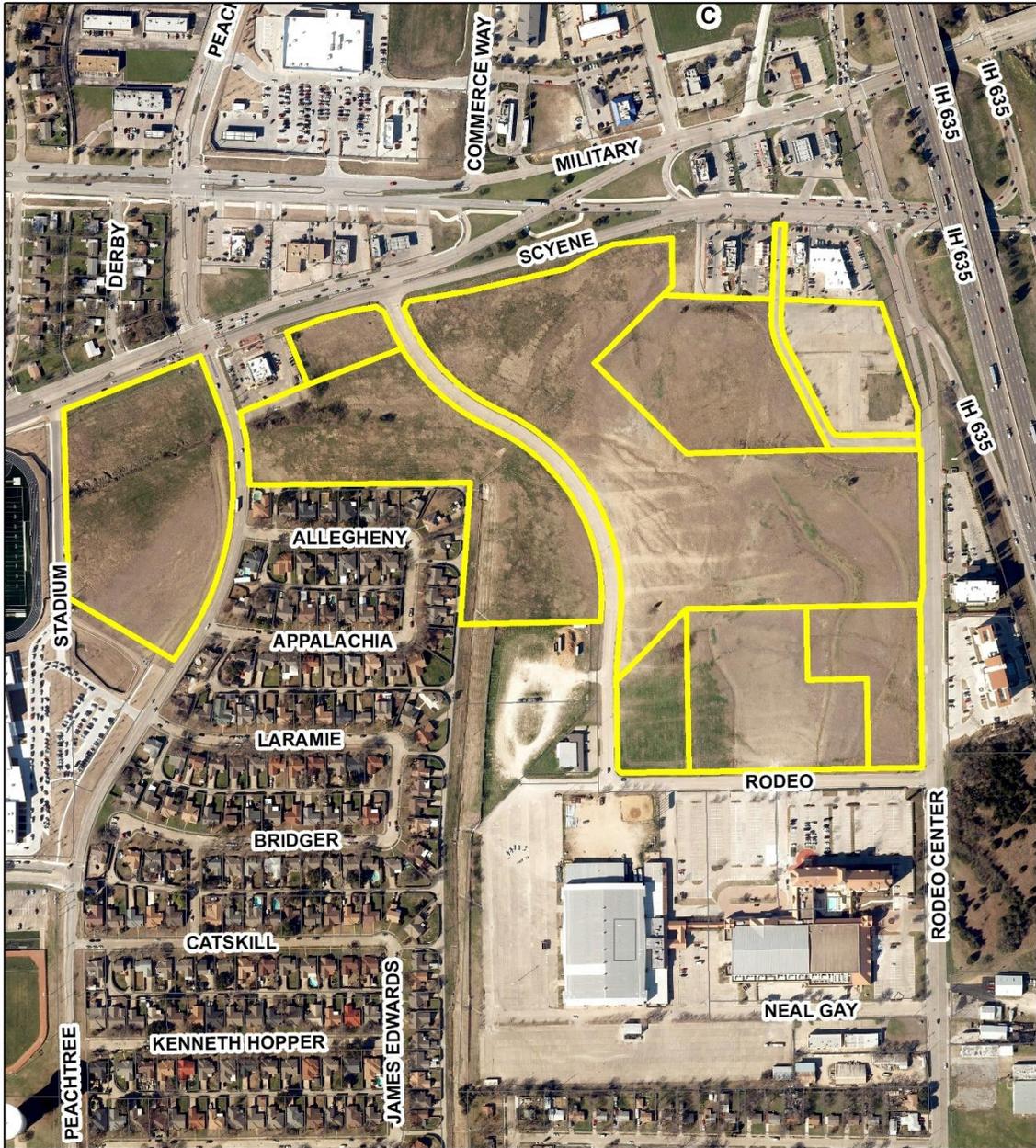
CODE CHECK

As of the date of this writing, the site does not have any open code cases.

ATTACHMENTS

1. Aerial Map
2. Public Notification Map
3. Zoning Map
4. Future Land Use Map
5. Site Pictures
6. Returned Public Notices
7. Exhibit D – Revised Planned Development Standards
8. Exhibit F – Screening (Revised)
9. Exhibit G – Concept Plan 1A and 1B for Tract 1D
10. Exhibit H – Amenity Center Concept Plan

Aerial Map: Zoning Case Z0620-0142



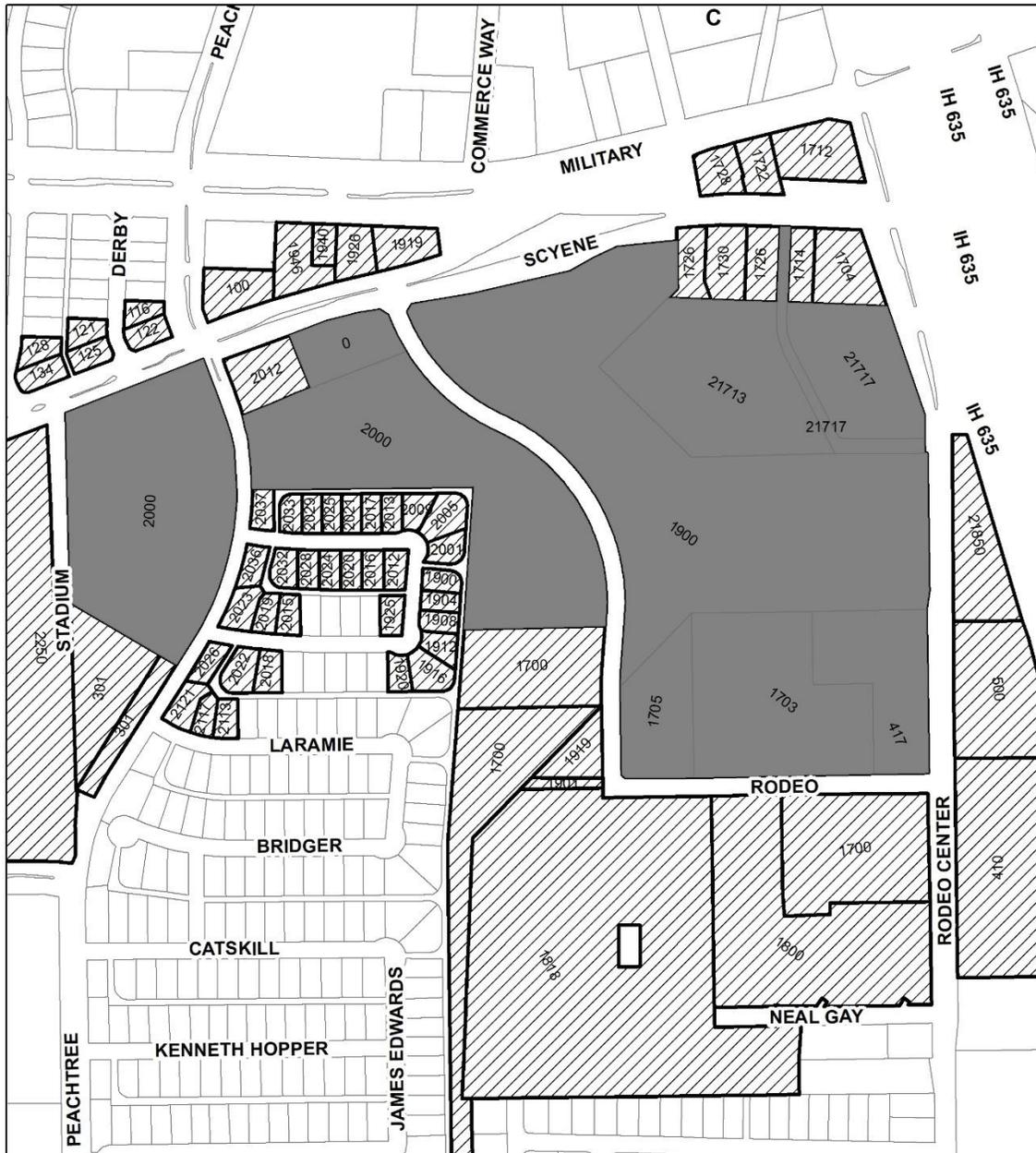
Request: Amend Planned Development Ordinance No. 4595 to allow an amenity center, convenience store with fuel sales, and to modify the screening wall standards.
Applicant: MM Mesquite 50, LLC.

Legend
[Yellow Outline] Subject Properties
[White Outline] Parcels



ATTACHMENT 2 – PUBLIC NOTIFICATION MAP

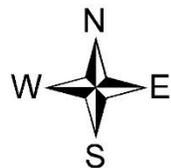
Notification Map: Zoning Case Z0620-0142



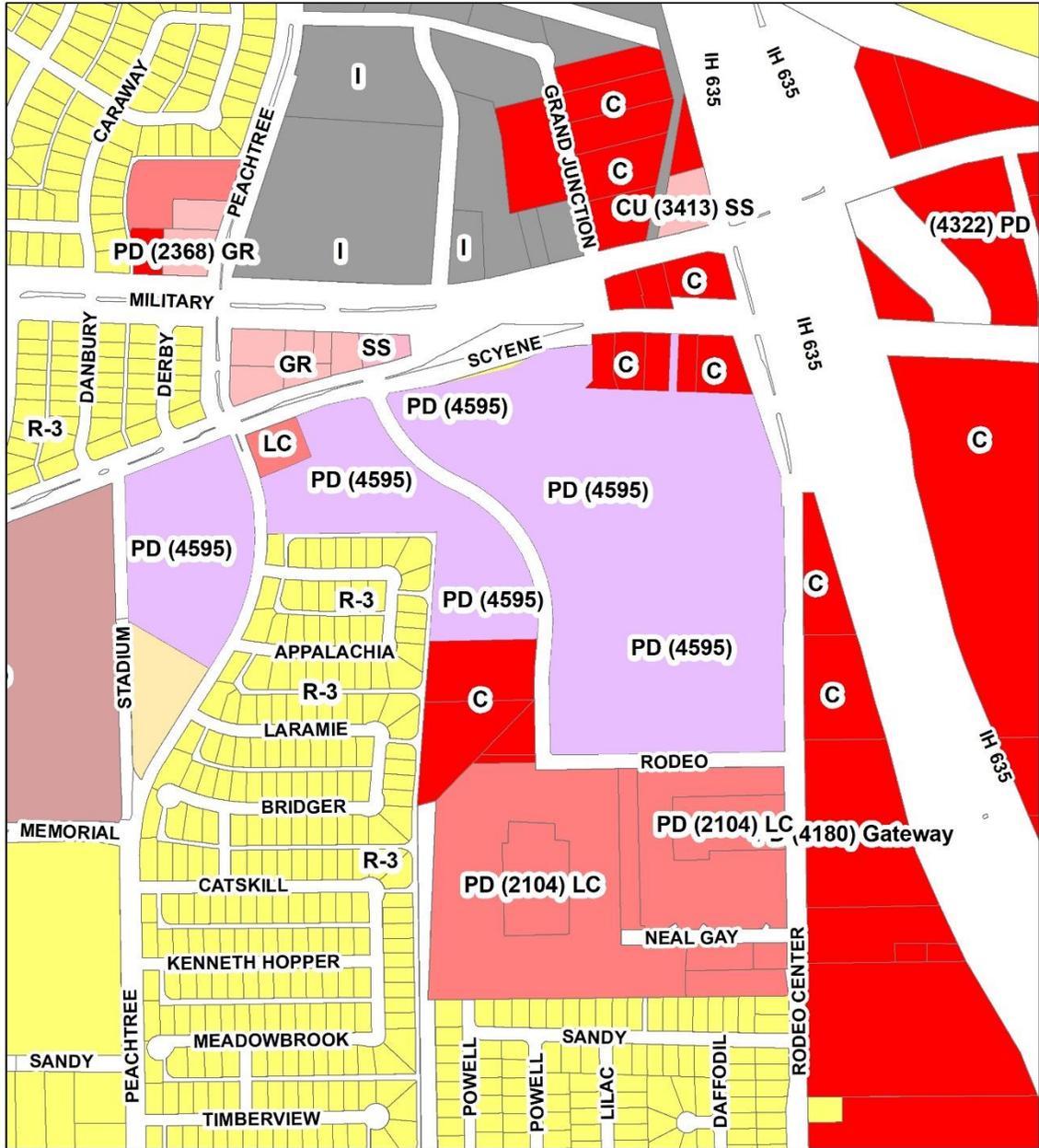
Request: Amend Planned Development Ordinance No. 4595 to allow an amenity center, convenience store with fuel sales, and to modify the screening wall standards.
Applicant: MM Mesquite 50, LLC.

Legend

- Subject Properties
- Noticed Properties
- Parcels

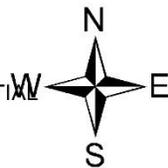


Zoning Map: Zoning Case Z0620-0142



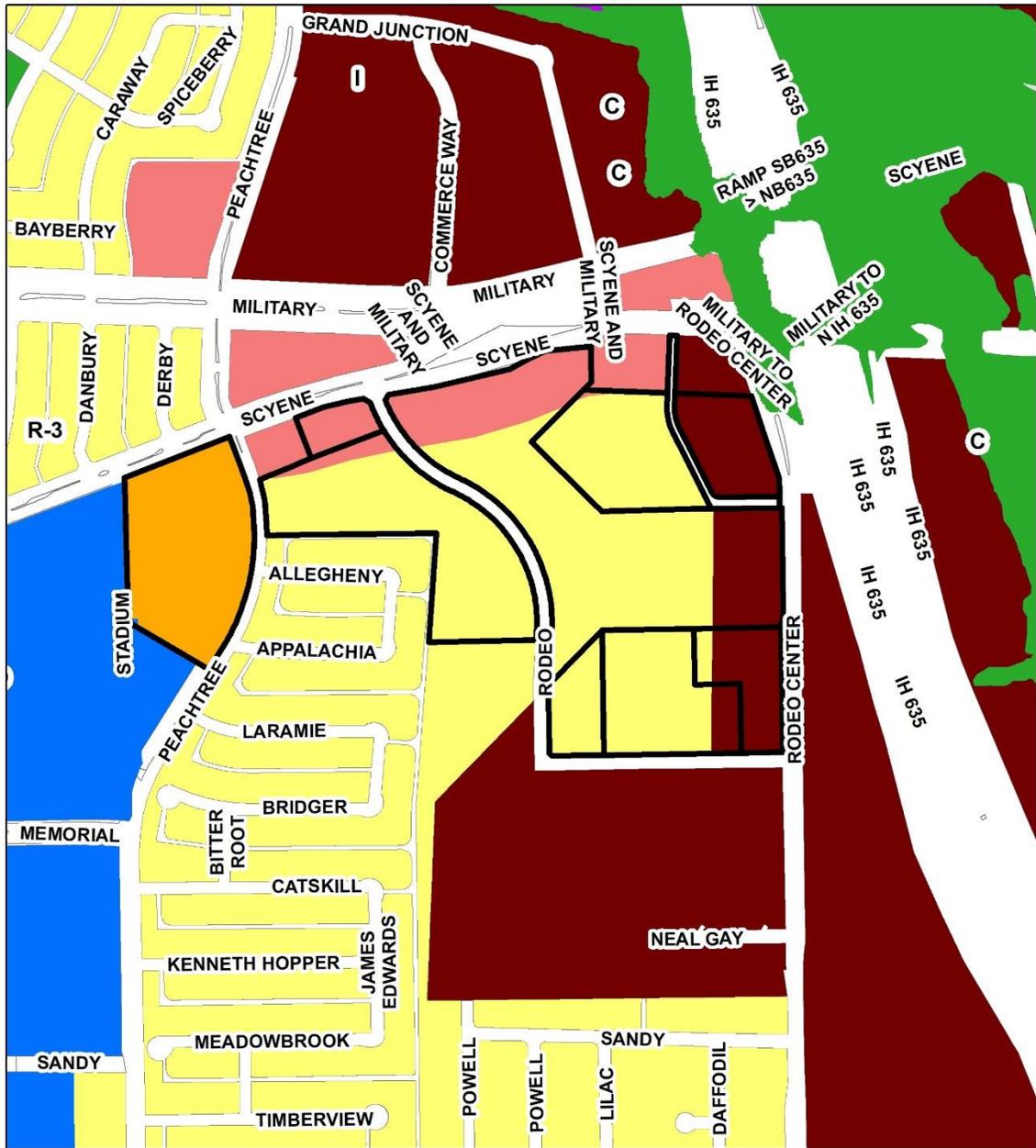
Legend

- | | | |
|----------------|------------------|---------------------------|
| PD ORD 4595 | INDUSTRIAL | SERVICE STATION |
| COMMERCIAL | LIGHT COMMERCIAL | SINGLE FAMILY RESIDENTIAL |
| GENERAL RETAIL | OFFICE | TOWNHOMES |



ATTACHMENT 4 – FUTURE LAND USE MAP

Future Land Use Map: Zoning Case Z0620-0142



Legend

Subject Properties

Land Use

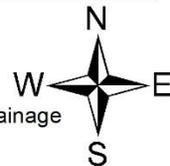
- Low Density Residential
- Medium Density Residential

Neighborhood Retail

- Commercial
- Light Industrial

Public/Semi-Public

- Parks, Open Space, Drainage
- Utilities



ATTACHMENT 5 – SITE PICTURES



View of the retaining wall on the north end of the residential Tract 1C. PD amendment would place a wrought iron fence on top of the retaining wall instead of requiring an 8-ft masonry wall.



View of the retaining wall on the north end of the residential Tract 1C. PD amendment would place a wrought iron fence on top of the retaining wall instead of requiring an 8-ft masonry wall.



View of the north end of the residential Tract 3. The PD amendment would place a 6-ft masonry wall on top of the retaining wall instead of requiring an 8-ft masonry wall.

ATTACHMENT 6 – RETURNED PUBLIC NOTICE



CITY OF MESQUITE
PLANNING AND ZONING COMMISSION
NOTICE OF PUBLIC HEARING

LOCATION: 1900 and 2000 W. Scyene Road, 21713 and 21717 IH 635, 1703 and 1705 Rodeo Drive, 417 Rodeo Center Drive. (See map below for reference)
FILE NUMBER: Z0620-0142
APPLICANT: MM Mesquite 50, LLC.
REQUEST: Rezoning to amend Planned Development Ordinance No. 4595

The requested Zoning Change would amend Planned Development Ordinance No. 4595 to allow an amenity center, a convenience store with fuel sales and modify the screening wall requirements. A list of permitted uses for each zoning district is available on the City’s website at www.cityofmesquite.com/1250/Zoning-Ordinance. Please note that the City Council may approve a different zoning district than the one requested, except that the different district may not (1) have a maximum structure height or density that is higher than the one requested; or (2) be nonresidential when the one requested is for a residential use or vice versa.

LEGAL DESCRIPTION

56.11 +/- acres situated in the Daniel Tanner Survey, Abstract No. 1462 and in the Job Badgley Survey, Abstract No. 74, City of Mesquite, Dallas County, Texas.

PUBLIC HEARINGS

The Planning and Zoning Commission will hold a public hearing on this request at 7:00 p.m. on Monday, **July 13, 2020**, at 757 N. Galloway Ave.

The City Council will hold a public hearing on this request at 7:00 p.m. on Monday, **August 3, 2020**, at 757 N. Galloway Ave.

Questions pertaining to this case may be directed to the Planning Division at (972) 216-6343 or glangford@cityofmesquite.com

REPLY FORM

State law requires that cities notify all property owners within 200 feet of any proposed zoning change. For this reason, we are sending you this notice. As a property owner within 200 feet of the property, you are urged to give your opinion on the request by attending the public hearing or by completing the form below or both. Your written reply is important and will be considered by the Commission and the Council. The reply form (below) is provided to express your opinion on this matter. The form should be returned to the Planning Division by 5 pm on **July 9th** to be included in the Planning and Zoning Commission packet and by 5 pm on **July 17th** to be included in the City Council packet. All notices received after the listed dates will still be accepted and presented to Commission/Council, but will not be included in meeting packets.

(Complete and return)

By signing the form, I declare I am the owner or authorized agent of the property at the address written below.

Zoning Case: Z0620-0142
I am in favor of this request
I am opposed to this request
Name (required): Franklin Tran
Address of Noticed Property: 1712 W. Scyene Rd
Owner Signature: Franklin Tran Date: 7/6/20

Reasons (optional): Too many gas and convenience clusters in small areas

Please respond by returning to: PLANNING DIVISION
Garrett Langford
CITY OF MESQUITE
PO BOX 850137
MESQUITE TX 75185-0137

RECEIVED
JUL 10 2020
PLANNING AND ZONING

ATTACHMENT 7 – EXHIBIT D – REVISED DEVELOPMENT STANDARDS

I. Residential Development Regulations

A. Residential Lot Standards – Table 1

Lot Type	Tracts per Concept Plan	Min. Lot Size	Min. Lot Width*	Min. Lot Depth	Min. Front Yard Setback	Min. Rear Yard Setback	Min. Side Yard Setback (Interior Lot)	Min. Side Yard Setback (Corner Lot)	Max. Height	Max. Lot Coverage	Min. Dwelling Size	Min. Separation Between Buildings	Max. Number of Units per Building
SF Bungalows	Tract 1C,2A	2,600 S.F.	40'	65'	8' (main structure) 20' (garage)	2'	2.5'	10'	35'	No Max.	1 story - 1,250 S.F. 2 Story - 1,600 S.F.	5'	N/A
SF Villas	Tract 1C	4,000 S.F.	40'	100'	20'	10'	5'	10'	35'	No Max.	1,800 Sq ft.	10'	N/A
Zero Lot Line - 2-504	Tract 2A	1,296 S.F.	24'	55'	6'	4'	0' side setback on one side, 3' side setback on the other side	10'	45'	No Max.	1,200 S.F.	N/A	N/A
Townhouse - Rear Entry 2-502	Tracts 1C, 2A, 3	1,400 S.F.	22'	65'	6'	4'	per Fire Code	10'	35'	No Max.	1,200 S.F.	10'	8
Townhouse - Front Entry 2-502	Tracts 1C, 2A, 3	1,400 S.F.	22'	85'	20'	4'	per Fire Code	10'	35'	No Max.	1,200 S.F.	10'	8

*Minimum Lot Width is measured along the front building line for all lots.

Zero Lot Line Residential - The plat shall dedicate, a one foot (2') wide Ingress, Egress, Overhang and Drainage Easement within the three foot (3') side setback for the purpose of maintenance, repair, and/or replacement of wall, overhang, roof, and/or eaves, and drainage onto the adjacent property. A minimum of three feet (3') separation between all principal structures must be provided for Zero Lot Line Residential.

No front elevation of a Zero Lot Line Residential shall be repeated any more often than once every 3 lots in a row. No front elevation of Villas and Bungalows Residential shall be repeated any more often than once every 2 lots in a row.

All residential dwellings shall conform to City of Mesquite's Fire code. Depending on code and building separation, certain dwellings may need to be sprinklered and/or a higher fire wall may be required.

Parking and Storage of Recreational Vehicles and Equipment. No recreational vehicle, motorhome, watercraft or other equipment greater than six feet (6') in height when mounted on its transporting trailer shall be parked or stored on any lot with a dwelling unit. Regardless of height, no such equipment shall be parked or stored on any street for longer than 24 hours.

Homeowner's Association. Before the issuance of a certificate of occupancy for a project containing any common areas or community facilities, it shall be necessary to assure the City that provisions have been made for adequate upkeep and maintenance association established to maintain and manage all such common areas, residential front lawns, and community facilities. HOA shall maintain residential areas once per week. Documents creating such association shall grant the City the right to collect maintenance fees and provide maintenance in the event that the Association fails to do so.

Primary Building Façade Materials	Front, Side and Rear elevations shall each be 90% brick or stone masonry excluding doors, windows, garage doors, and dormers; other façade materials may be Hardie-board/plank or equivalent.
Screening and Fencing	In order to create a walkable urban environment, screening shall only be required along arterials and directly adjacent to commercial areas. Where required, screening shall be (i) precast panel wall masonry construction or (ii) masonry construction, minimum Eight feet (8') in height. Any further screening may be provided at the discretion of the developer and approved by the City of Mesquite. Wooden fencing shall never be adjacent to Right-of-Way. Wrought Iron Fencing shall be permissible as screening in certain areas given City of Mesquite Approval. Wrought Iron fencing is acceptable behind Tract 1C Lots along Rodeo Drive.
Parking	1.) All Residential Units, attached or detached, shall provide two (2) garage Spaces per Unit. 2.) Front Entry Residential shall provide two (2) off-street parking spaces through use of a minimum eighteen foot (18') by eighteen foot (18') wide driveway and parallel or head in parking. 3.) Rear Entry Residential units, attached or detached, shall provide one and half (1.5) parking spaces for every two (2) units. Parking shall be either designated parallel, head-in, or driveway space.
Tract 1C -Southern Egress	Second egress point at the southern border of Tract 1C shall be a gated exit per City of Mesquite's Approval.
Phasing	Development may be constructed in phases.

B. Residential Landscape, Open Space, and Screening as shown on Landscape Concept Plan.

1. General Landscape Requirements

- a. Landscape areas equal to a minimum of 10 percent of the site area shall be provided.
- b. Calculation of the minimum landscape area may include internal landscaping in parking areas and a required buffer tree line. Adjacent rights-of-way shall be landscaped, but these areas shall not be included in the calculation of required area.
- c. Portions of the site area planned for development as part of a later phase may be excluded from the calculation of minimum landscape area for the portion of the site area being developed as part of the current phase.

- d. Adjacent rights-of-ways shall be landscaped with lawn or groundcover, but these areas shall not be included in the calculation of required minimum landscape area.

2. Tree Requirement

- a. One shade tree, or one evergreen tree, or 3 ornamental trees shall be provided for each 500 square feet of required landscape area. Trees provided for internal parking area landscaping and trees in a required buffer tree line may be counted to fulfill this requirement, provided that at least 50% of the required trees are located between the main building and the front and/or exterior side property lines.

3. Individual Lot Landscape Standards

- a. For each single family residential lot - a minimum of one shade tree, or one evergreen tree, or 3 small ornamental trees in the front yard of each dwelling unit; and one gallon shrubs, planted no more than 3 feet on center, along the front of the structure. Plant material to be selected at a later date, by lot builder, and shall satisfy the City of Mesquite required plant schedule outlined by table 1A-500.

4. Tract 1B-1, 1B-2, 1C, 2A, and 3

- a. Required: 10% of total Site Area
- b. 50% of the above landscape requirement to be located between main building and front or side property lines.
- c. 1 tree / 500 sf within a required landscape area

- 5. Tract 1C (Rodeo Drive) – 6’ concrete sidewalk.** Outside of ROW landscaping area will include flowering ornamental trees and landscape berms with shrubs/groundcover where a decomposed granite pathway shall lie. The landscaping will also consist of native grasses for groundcover, Bermuda sod, and a steel cattle themed landscape monument.

- 6. Tract 2A (Rodeo Drive) – 6’ concrete sidewalk along tract 2A.** Outside of ROW landscaping area will include steel cattle themed landscape monuments, a decomposed granite pathway, and a raised water feature. Large canopy trees, planter bed seating area surrounded by ornamental trees, Bermuda sod, and screening shrubs/groundcover.

- 7. Tract 3 (Peachtree Road) –5’ concrete sidewalk.** Flowering ornamental tree that will bring color to the area and large canopy trees with seating area. The landscaping will also consist of native grasses used for groundcover, Bermuda sod, and a small screening fence with planter

beds.

C. Neighborhood Amenity Center

1. A Neighborhood Amenity Center shall be permitted in Tract 2A. The site plan and plat for a Neighborhood Amenity Center shall substantially conform to Concept Plan, as shown in Exhibit H.

II. *Non-Residential Development Regulations* - The permitted uses and standards must be in accordance with the Light Commercial zoning districts, unless otherwise specified herein:

Commercial per Concept Plan	Tract	Land Uses	Min. Front Yard Setback (Primary Use Structure)	Min. Front Yard Setback (Accessory Use Structure)	Max. Height	Max. Lot Coverage			
Zoning Tract 1A (Light Commercial)	Tract 1A	LC	Per City Code						
Zoning Tract 1D (Light Commercial)	Tract 1D	LC	Per City Code						
Zoning Tract 2B (Light Commercial)	Tract 2B	LC	25'	10'	Per City Code	Per City Code			
* Tract 2B	1. The primary use within a platted lot shall be considered to be the structure within which the primary business is conducted on the property. All other improvements, excluding signage, within a platted lot shall be considered accessory uses. Primary uses shall be subject to a 25 foot front yard setback. Accessory uses shall be subject to a 10 foot front yard setback. For non-residential uses within Tract 2B, only frontage on Scyene shall be considered to be the front yard, all other street frontage shall be considered to be side or rear yards. There is no rear or side yard setback for non-residential uses in Tract 2B. 2. If developer is required to construct a right turn decel lane at the intersection of Scyene Road and Rodeo Drive, no greater than a five (5) foot sidewalk shall be required along Scyene Road for Tract 2B.								

1. Bowling Center/Indoor Recreational Facility permitted by right on Tract 1A.

2. Prohibited Uses:

- a. Check Cashing Services
- b. Motorcycle Sales and Repair
- c. Recycling Kiosk
- d. Sexually Oriented Businesses
- e. ~~Limited Fuel Sales~~
- f. Automotive Dealers
- g. Auto and Home Supply Store
- h. Tobacco Stores
- i. Funeral Services, Crematories
- j. Medical Equipment Rental
- k. Bail Bond Services
- l. Passenger Car Rental
- m. Automotive Repair Shops
- n. Automotive Parking (Principle Use)
- o. Automotive Diagnostic, Inspection Services
- p. Hotels, Camps, Other Lodging Places

q. Repair Services

2. Nonresidential Architectural Standards shall be governed by the POA's CCR's. Architectural Standards for all Light Commercial shall resemble the architectural standards set forth by the Residential HOA. Architectural Standards shall meet or exceed the City of Mesquite's Community Appearance Manual. Nonresidential Developments shall have the opportunity for alternate standards given City approval.
3. Nonresidential Tracts 1A, 1D, and 2B (per concept plan) are subject to City of Mesquite Commercial Property Landscape Standards.
4. A convenience store with fuel sales shall be permitted in Tract 1D. The site plan and plat for a convenience store with fuel sales shall substantially conform to Concept Plan 1A or 1B, as shown in Exhibit G.

3. *Public Streets and Sidewalks*

1. **Public Streets.** The street system is intended to create an urban feel and pedestrian friendly environment with easy and convenient access to community open spaces and amenities, some of which are shared with the adjacent commercial/retail. Streets shall be classified and constructed as follows:
 - a) Urban Residential Type 1 (Front Entry, Tract 1) –
 - a. Right-of-Way shall be fifty-feet (50') wide;
 - b. Pavement shall be thirty-one feet (31') wide from back of curb to back of curb;
 - c. Pavement shall be a minimum of six-inch (6") thick, 4000 PSI with number four (4) bars on eighteen-inch (18") centers both ways.
 - b) Urban Residential Type 2 (Front Entry, Tract 2 and Tract 3) –
 - a. Right-of-Way shall be forty-two feet (42') wide;
 - b. Pavement shall be thirty-one feet (31') wide from back of curb to back of curb;
 - c. Pavement shall be a minimum of six-inch (6") thick, 4000 PSI with number four (4) bars on eighteen-inch (18") centers both ways.
 - c) Urban Residential Type 3 (Parallel Street Parking) –
 - a. Right-of-Way shall be forty-two feet (42') wide;
 - b. Pavement width shall be increased by a minimum of two-feet (2') in width on the side of the street with rear entry residential. If rear entry residential is provided on one side of the street then the paving shall be a minimum of thirty-two and a half feet (32.5') wide from back of curb to back of curb. If rear entry residential is provided on both sides of the street then the paving shall be a minimum of thirty-four feet (34') wide from back of curb to back of curb. Trees wells can be provided to define parking areas and

- provide landscaping. Where tree wells are provided, a minimum of twenty-four feet (24') clear paving shall be provided;
- c. Pavement shall be a minimum of six-inch (6") thick, 4000 PSI with number four (4) bars on eighteen-inch (18") centers both ways.
 - d) Alley Entry (Standard) –
 - a. Right-of-Way shall be eighteen feet (18') wide;
 - b. Right-of-Way shall transition from eighteen feet (18') wide at its typical section to twenty-two feet (22') wide at the Right-of-Way for the connecting street. The transition shall occur over twenty feet (20');
 - c. Alley pavement shall be twelve feet (12') wide from edge of alley to edge of alley;
 - d. Alley pavement shall transition from twelve (12') wide at its typical section to sixteen feet (16') wide at the Right-of-Way for the connecting street. The transition shall occur over twenty feet (20').
 - e. Pavement shall be a minimum of eight-inch (8") thick at the edge and five-inch (5") thick at the invert, 4000 PSI with number four (4) bars on eighteen-inch (18") centers both ways.
 - e) Alley Entry (Fire/EMS Access) –
 - a. Right-of-Way shall be twenty-four feet (24') wide;
 - b. Right-of-Way shall transition from twenty-four feet (24') wide at its typical section to twenty-eight feet (28') wide at the Right-of-Way for the connecting street. The transition shall occur over twenty feet (20');
 - c. Alley pavement shall be twenty feet (20') wide from edge of alley to edge of alley;
 - d. Alley pavement shall transition from twenty (20') wide at its typical section to twenty-four feet (24') wide at the Right-of-Way for the connecting street. The transition shall occur over twenty feet (20').
 - e. Pavement shall be a minimum of eight-inch (8") thick at the edge and five-inch (5") thick at the invert, 4000 PSI with number four (4) bars on eighteen-inch (18") centers both ways.
 - f) Ingress and Egress Easement, Volume 85144, Page 375 and Utility and Drainage Easement, Volume 85186, Page 5465 adjacent to Lot 1, Block A, The Landmark Addition, Volume 85135, Page 3484. Development Road connecting Peach Tree Road and Rodeo Drive as shown on the Concept Plan.
 - a. Residential development shall be allowed to connect to the existing access and utility easement.
 - b. Developer may dedicate this as an Urban Residential street as long as the improvements are reconstructed to the standards established herein.
 - c. Regardless of whether the improvements are public or private, access shall be allowed to serve both the residential or commercial use. If the improvements are to remain private, then a property owner's association

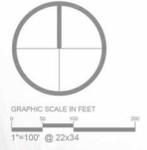
or homeowner's association must be established for the inspection and maintenance of said improvements. Documents creating such association shall grant the City the right to collect maintenance fees and provide maintenance in the event that the Association fails to do so.

- g) Horizontal Geometry –
- a. Urban Residential – The minimum center line horizontal radius shall be fifty feet (50’).
 - b. Alley Streets – The minimum center line horizontal radius shall be fifty feet (50’).
 - c. Curb Returns –
 - i. Urban Residential to Urban Residential – minimum curb return shall be twenty feet (20’) radius;
 - ii. Urban Residential to Collector – minimum curb return shall be twenty feet (20’) radius;
 - iii. Urban Residential to Arterial – minimum curb return shall be twenty feet (20’) radius;
2. **Curbs.** All curbs shall be standard six-inch with the exception that mountable curbs will be allowed adjacent to front entry townhomes (Lot Type: Townhouse – Front Entry 2-502).
3. **Signage.** The developer shall provide signage that designates no parking areas along Urban Residential Streets as determined and directed by the City Engineer. All signage requirements will be determined during the preliminary platting and final platting processes.
4. **Public Sidewalks.** The sidewalk system is intended to create walkability within this urban mix use development easy and convenient access to community open spaces, amenities, commercial/retail businesses. Sidewalks shall be constructed as follows:
- a. Along Urban Residential – shall be five feet (5’) wide and located adjacent to the back of curb.
 - b. Along Rodeo Drive – shall be six feet (6’) wide and located one foot (1’) inside the right-of-way line.
 - c. Along Hwy 352 – shall be ten feet (10’) wide per the trail plan and located within the right-of-way on the right-of-way line.
 - d. Along Rodeo Center Boulevard – Shall be six feet (6’) wide and located one foot (1’) inside the right-of-way line.

Developer may meander the sidewalk within the development up to eight feet (8’) as long as a sidewalk maintenance easement is provided.

5. **Residential Mailboxes.** Cluster boxes shall be provided as required by the US Postal Service. Cluster boxes shall be limited to eight units per box unless otherwise directed by the US Postal Service. The developer shall provide a preliminary cluster box layout for the City's review with the preliminary plat submittal.

ATTACHMENT 8



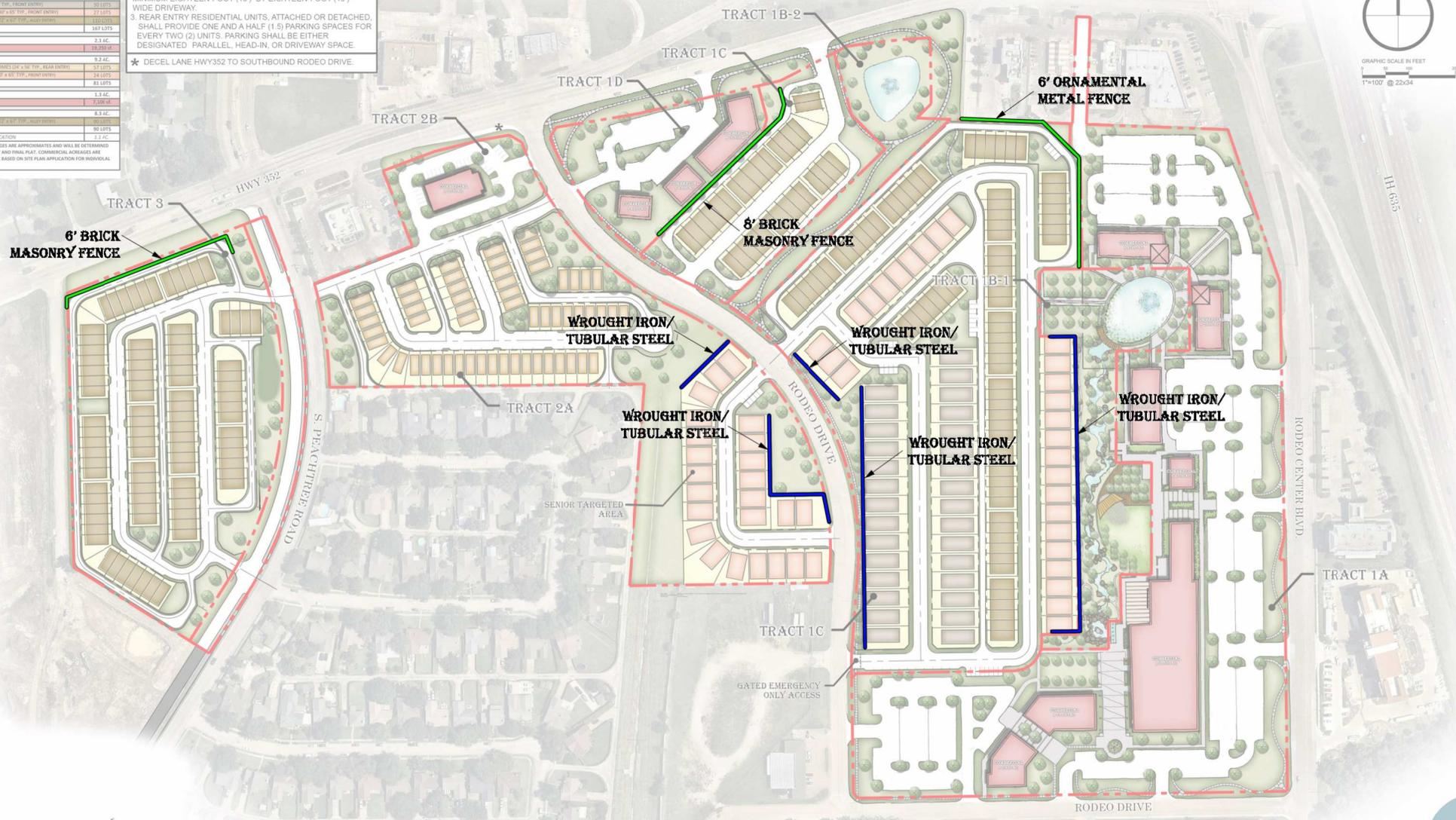
LAND USE SUMMARY	
TRACT 1A	18.8 AC
COMMERCIAL	188,800 SF
TRACT 1B-1	2.9 AC
TRACT 1B-2 - AMENITY	1.5 AC
TRACT 1C	15.8 AC
MULTIFAMILY (200 TYP. FRONT ENTRY)	39,000 SF
MULTIFAMILY (100-450 TYP. FRONT ENTRY)	27,000 SF
TOWNHOMES (12' x 8' TYP. ACCT ENTRY)	130,000 SF
TOTAL	187,800 SF
TRACT 1D	2.1 AC
COMMERCIAL	18,000 SF
TRACT 2A	9.2 AC
CREASY ROW HOMES (24' x 36' TYP. REAR ENTRY)	52,000 SF
MULTIFAMILY (100-450 TYP. FRONT ENTRY)	26,000 SF
TOTAL	81,000 SF
TRACT 2B	1.3 AC
COMMERCIAL	7,300 SF
TRACT 3	8.3 AC
MULTIFAMILY (12' x 8' TYP. ACCT ENTRY)	18,000 SF
TOTAL	90,000 SF
# OF DWELLING UNITS	2,242

RESIDENTIAL USE PARKING NOTES:
 1. ALL RESIDENTIAL UNITS, ATTACHED OR DETACHED, SHALL PROVIDE TWO (2) GARAGE SPACES PER UNIT.
 2. FRONT ENTRY RESIDENTIAL SHALL PROVIDE TWO (2) OFF-STREET PARKING SPACES THROUGH USE OF A MINIMUM EIGHTEEN-FOOT (18') BY EIGHTEEN-FOOT (18') WIDE DRIVEWAY.
 3. REAR ENTRY RESIDENTIAL UNITS, ATTACHED OR DETACHED, SHALL PROVIDE ONE AND A HALF (1.5) PARKING SPACES FOR EVERY TWO (2) UNITS. PARKING SHALL BE EITHER DESIGNATED PARALLEL, HEAD-IN, OR DRIVEWAY SPACE.

REQUIREMENTS FOR MAJOR TRANSPORTATION IMPROVEMENTS SHALL BE DICTATED BY THE DEVELOPER'S AGREEMENT

* DECEL LANE HWY352 TO SOUTHBOUND RODEO DRIVE.

NOTES: OVERALL AREAS ARE APPROXIMATES AND WILL BE DETERMINED BASED ON PRELIMINARY AND FINAL PLAT. COMMERCIAL AREAS ARE ESTIMATED AND WILL BE BASED ON SITE PLAN APPLICATION FOR INDIVIDUAL TRACTS/BUILDINGS.

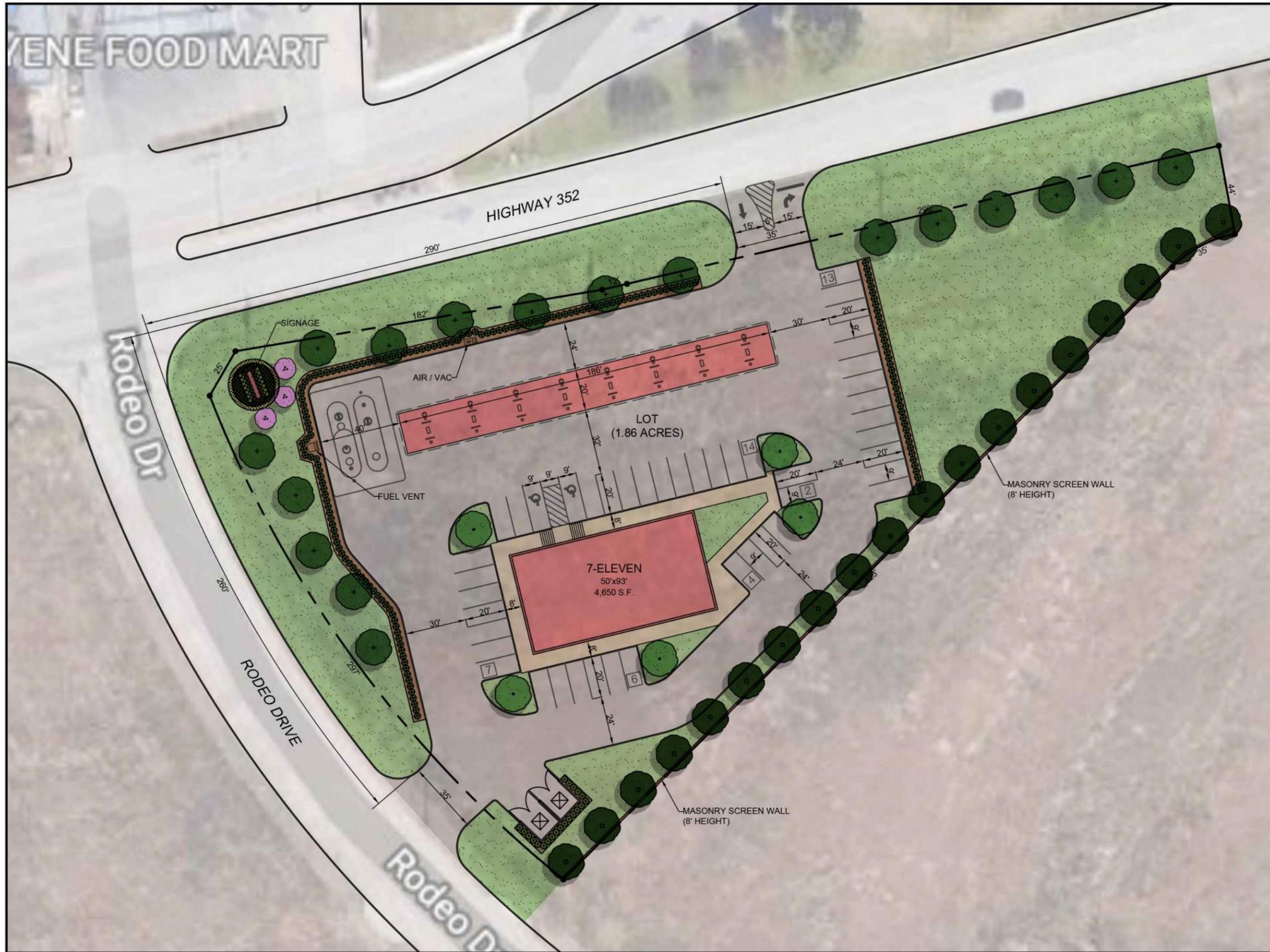
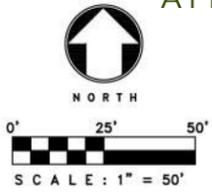


IRON HORSE DEVELOPMENT
 CONCEPT PLAN
 Mesquite, Texas
 AUGUST 2018

DRG NAME: K:\170_0142\0142_01\170181_01\MESQUITE\CONCEPT\PLAN\ATTACHMENT 8 - FENCE PLAN - CONCEPT PLAN.dwg
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MESQUITE CHAMPIONSHIP RODEO

Kimley Horn
 5750 Geneva Court
 Suite 200
 Frisco, Texas 75034
 972.335.3000
 State of Texas Registration No. F-828



LANDSCAPE ARCHITECT
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DEVELOPER
VAQUERO VENTURES, LLC
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3211 W. 4TH STREET
FORT WORTH, TX 76107
(817) 228-5288

7-ELEVEN
HIGHWAY 352 & RODEO DRIVE
CITY OF MESQUITE
DALLAS COUNTY, TEXAS

ISSUE:
FOR PLANNING 06.30.2020

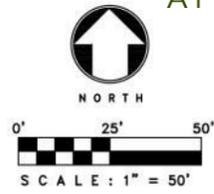
DATE:
06.30.2020

SHEET NAME:
PRELIMINARY SITE PLAN

SHEET NUMBER:

PSP.1

- NOTES:
1. THIS PRELIMINARY SITE PLAN IS FOR PLANNING PURPOSES ONLY.
 2. THIS PRELIMINARY SITE PLAN MUST BE REVIEWED BY ALL GOVERNING JURISDICTIONS FOR COMPLIANCE.
 3. ALL EXISTING CONDITIONS MUST BE VERIFIED.
 4. ALL MEASUREMENTS ARE ESTIMATED.



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7-ELEVEN & QSR
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CITY OF MESQUITE
DALLAS COUNTY, TEXAS

ISSUE:
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DATE:
06.30.2020

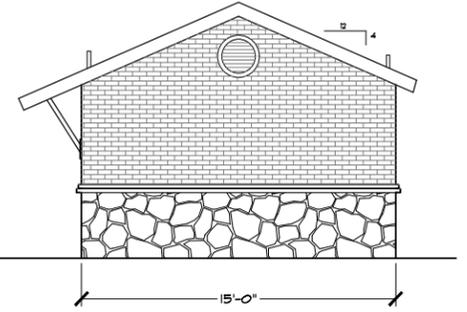
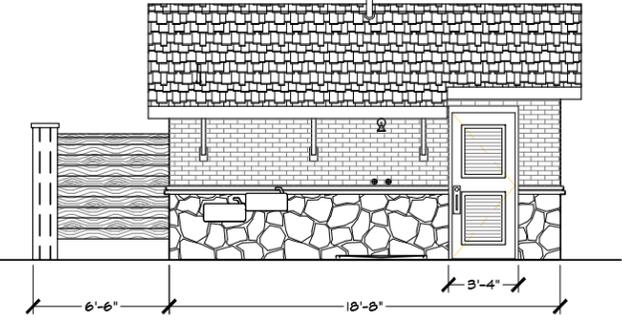
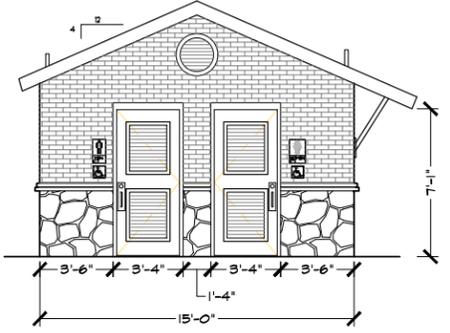
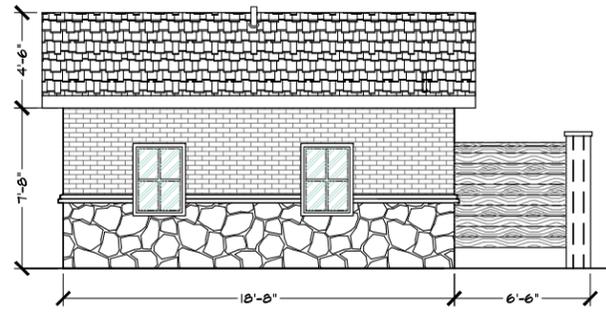
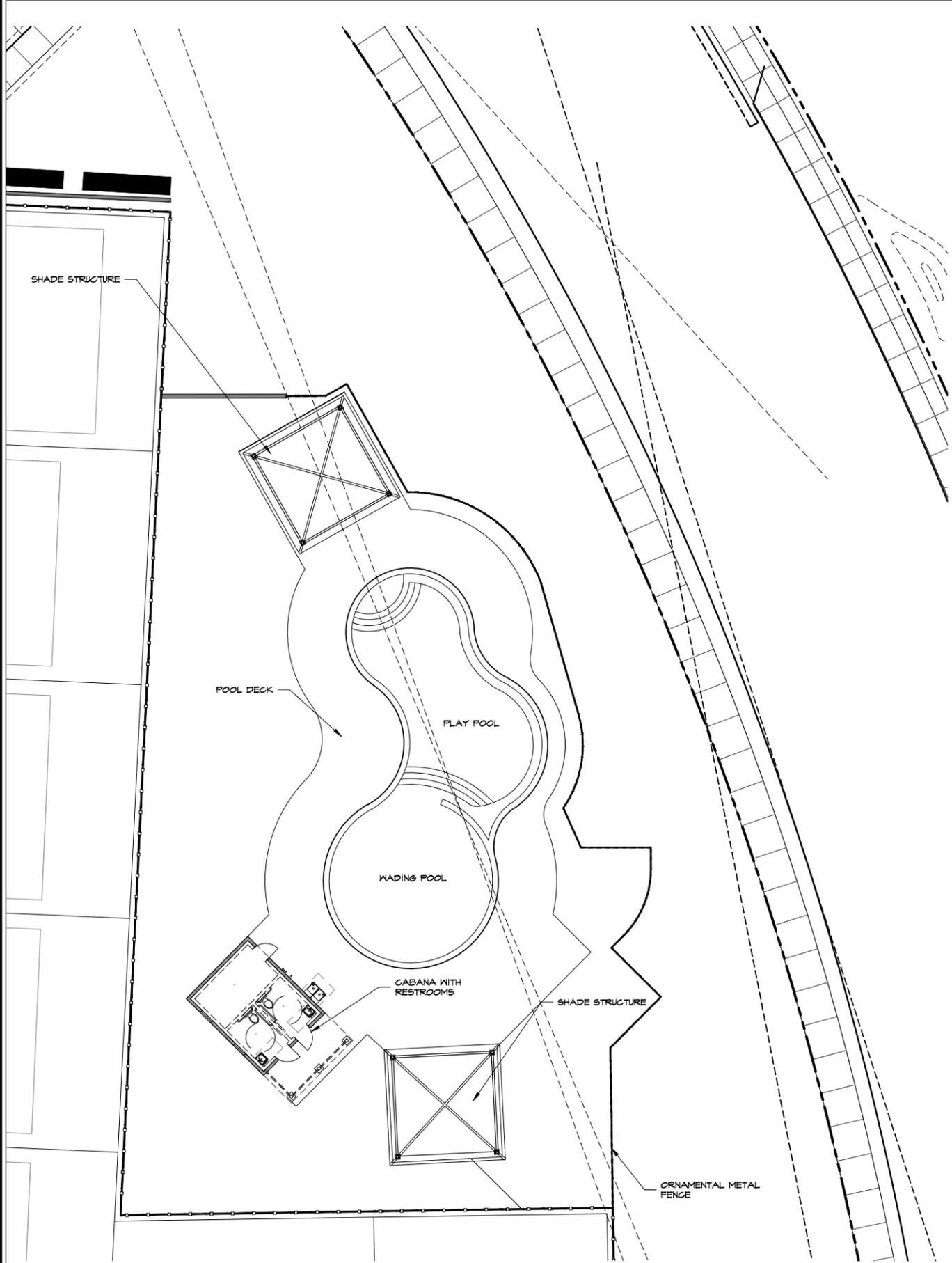
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Drawing: W:\Shared\With Me\Shared\Projects\CAD076 - Mesquite\DWG\CAD076LS.dwg Saved By: Station12 Save Time: 7/9/2020 2:05 PM
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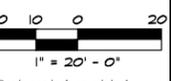


1 BLDG ELEVATIONS
 AC1 SCALE 1/4" = 1'-0"

STUDIO 13
 DESIGN GROUP
 Studio 13 Design Group, PLLC.
 386 W. Main Street
 Lewisville, Texas 75057
 469-635-1900
 TBAE Firm #BR643

THESE DOCUMENTS ARE
 FOR INTERIM REVIEW
 ONLY AND NOT INTENDED
 FOR CONSTRUCTION OR
 BIDDING PURPOSES.

Submittal 04-19-2019



Bar is one inch on original
 drawing. If not one inch on this
 sheet, adjust scale as necessary.
 One Inch

LANDSCAPE AND SCREENING

Amenity Center Exhibit
 Iron Horse Village
 City of Mesquite, Dallas County, Texas

PLAN REVIEW REVISIONS	#	DATE	BY
	1		

PROJECT
 CAD076

SHEET
 AC 1